



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, September 9, 2024

TIME: 5:00 p.m.

Virtually attend the September 9th, Plan Commission meeting at 5 PM by following the link here:

Join Zoom Meeting: <https://us06web.zoom.us/j/89254959673>

Meeting ID: 892 5495 9673

Dial by your location: +1 312 626 6799 US (Chicago)

A. Call to Order

B. Roll Call

C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of August 19, 2024
2. Discussion/Action – Mazzanti Estates Final Plat
3. Discussion/Action – Site Plan Review for Phase 1 of Evantra Multi-Family Development
4. Discussion – Food Truck Regulations
5. Items for Future Agenda
6. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 September 5, 2024

MINUTES OF THE PLAN COMMISSION MEETING OF AUGUST 19, 2024

Call to Order

The Plan Commission meeting was called to order at 5:00 PM by President Vanden Berg

Roll Call

PRESENT: President Vanden Berg
Jim Moes
Bill Van Berkel
Larry Van Lankvelt
Todd Verboomen
Tom Lonsway
EXCUSED: Kent Taylor

STAFF PRESENT: Beau Bernhoft, Jessical Titel

Public Appearance for Items Not on the Agenda

Mr. Don Van Deurzen raised concerns about Food Trucks being allowed to park anywhere and would like a review of the Food Truck Ordinance.

Approval of Minutes from the Plan Commission Meeting of July 8, 2024

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to approve the Plan Commission Meeting Minutes of July 8, 2024.

All Ayes – Motion Carried

Public Hearing – Conditional Use Request for Duke Rentals, 3070 Spirit Court

Moved by Commissioner Van Berkel, seconded by Commissioner Verboomen to enter Public Hearing at 5:09 p.m.

All Ayes – Motion Carried

Director Titel presented a request by Duke Rentals, 3070 Spirit Court for a special use permit for construction equipment rental and sales. This is a special exception in the Commercial Highway District and would apply to entire property.

Moved by Commissioner Moes, seconded by Commissioner Verboomen to exit Public Hearing at 5:10 p.m.

All Ayes – Motion Carried

Discussion/Action – Conditional Use Request for Duke Rentals, 3070 Spirit Court

Moved by Commissioner Moes, seconded by Commissioner Verboomen to approve the Conditional Use Request as presented.

All Ayes – Motion Carried

Items for Future Agenda

Food Truck Ordinance Review

Adjournment

Moved by Commissioner Verboomen seconded by Commissioner Van Lankvelt to Adjourn Plan Commission Meeting at 5:16 PM

All Ayes – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk



Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/9/2024

Prepared On: 9/4/2024

Agenda Item Topic: **Final Plat – Mazzanti Estates**

Prepared By: Jessica Titel, Community Development Department

Applicants: Lexington Homes & Troy Hewitt, Robert E. Lee & Associates

Owner (s): Evantra, LLC (Parcel #260446904 & #260446905) and Village of Little Chute (Parcel #260446903)

Address/Parcel #: Golden Gate Drive, Parcel #'s 260446904, 260446905 and 260446903

Request: The Final Plat for Mazzanti Estates was recently submitted to the Village. The proposed plat includes two lots for multi-family development, 31 single family lots and one outlot, along with the dedication of public right-of-way for the future extension of Golden Gate Drive.

Zoning Classification: RM Multi-Family Residential and RD Dense Modern Single-Family

Project Summary/Background: The final plat includes 33 lots and one outlot and contains approximately 51.5 acres of land. The multi-family development will occur on two lots (Lots 32 and 33) and is approximately 40.4 acres in size. The plat also includes 31 single family lots on approximately 8.2 acres of land area. Approximately 2.9 acres of land will be dedicated to the public for the extension of Golden Gate Drive to Holland Road. This plat has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this Final Plat will move to the Village Board on September 18 for final action. The Final Plat is attached to this report for Plan Commission review. A Site Plan application has also been submitted for the subject property.

Previous Action:

- May 13, 2024 – Plan Commission recommended approval of the Preliminary Plat for Mazzanti Estates. A public hearing was also held regarding this item.



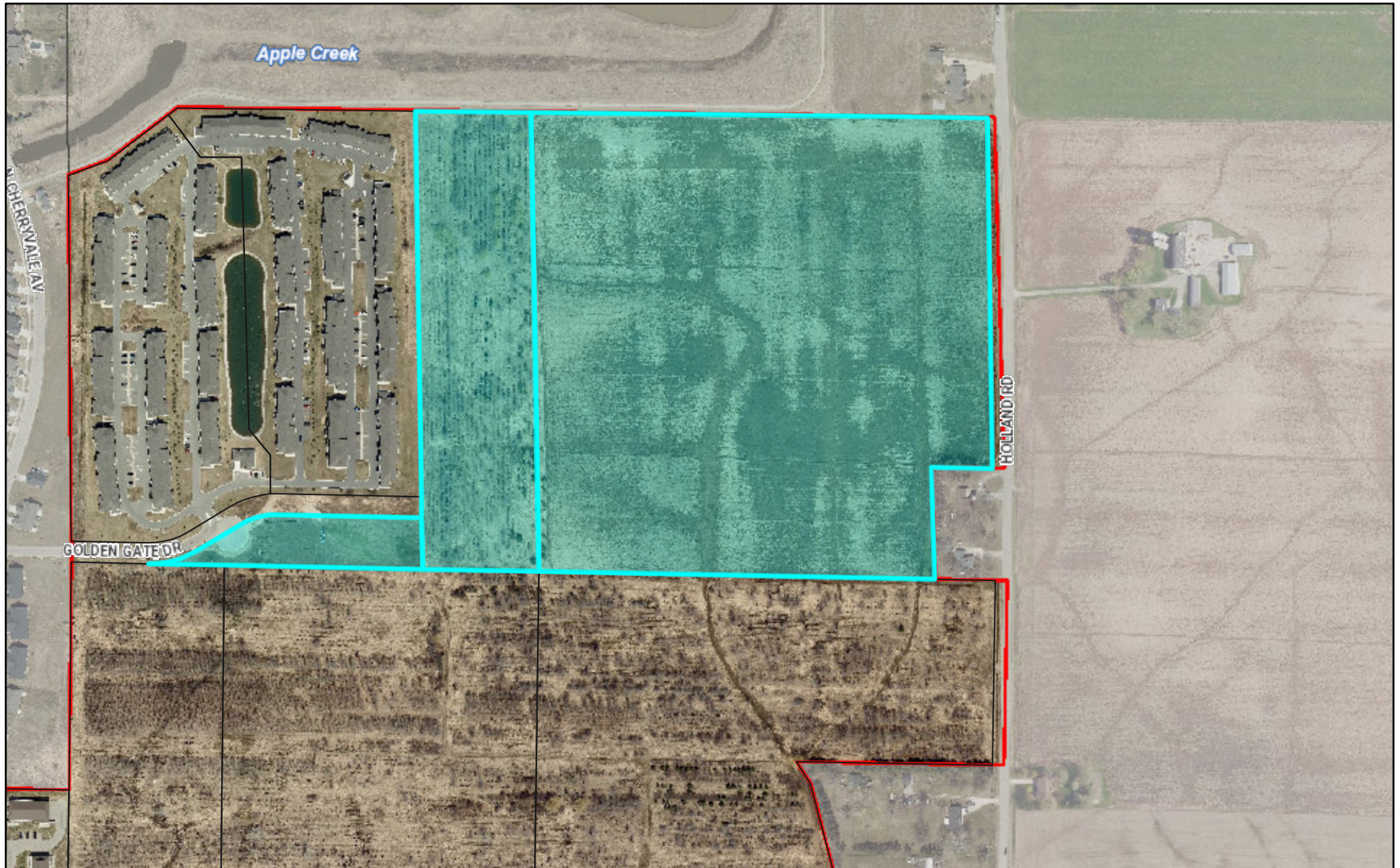
Item For Consideration Plan Commission

- June 5, 2024 – Village Board adopted Resolution No. 9, Series of 2024 approving the Mazzanti Estates preliminary plat.
- June 10, 2024 – Plan Commission recommended approval of the proposed rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.
- July 17, 2024 – Village Board approved and adopted ordinances for the rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.

Recommendation/Board Action: Staff is recommending adoption of a resolution for approval of the Mazzanti Estates Final Plat to the Village Board, subject to the satisfaction of all staff comments.

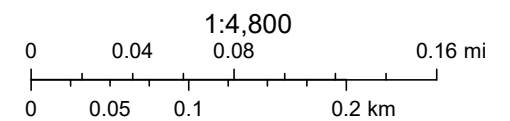
Respectfully Submitted,
Jessica Titel, Community Development Director

Vicinity Map - Mazzanti Estates Final Plat



9/4/2024, 12:33:07 PM

 Parcels



Outagamie County, Village of Little Chute, REL & Associates, Inc.

Village of Little Chute
Robert E. Lee & Associates, Inc., Outagamie County



APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: MAZZANTI ESTATES

Parent Parcel # 260446903, 260446904, 260446908

Number of Lots: 33 & 1 OL

☐ Preliminary Plat ☒ Final Plat ☐ CSM

Will deed restrictions be recorded? ☐ Yes ☐ No

Property Owner Information:

Name: LEXINGTON HOMES Telephone Number: 920-662-1611

Mailing Address: 1256 CENTENNIAL CENTRE BLVD

Surveyor Information:

Name: TROY HEWITT Telephone Number: 920-662-9641 email thewitt@releeinc.com

Engineer Information:

Name: JARED SCHMIDT Telephone Number: 920-662-9641 email jschmidt@releeinc.com

Required for plat review:

- ☐ Lot Layout (4 full size copies) and (24) 11" x 17" copies
- ☐ Topographic survey (4 full size copies) and (2) 11" x 17" copies
- ☐ Drainage plan (4 full size copies) and (2) 11" x 17" copies
- ☐ Pavement Design Catalog (3 copies)
- ☐ Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)
- ☐ Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies
- ☐ Proposed CSM (24) copies
- ☐ Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

☒ Preliminary Plat \$100.00 plus \$5.00 per lot. ☐ Final Plat \$50.00 plus \$2.00 per lot. ☐ CSM \$50.00 flat fee.

Amount of Fees submitted: \$ 118

Signature of Applicant Michelle Doe

Date 8/14/2024

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

MAZZANTI ESTATES

ALL OF LOT 3, VOLUME 45 OF CERTIFIED SURVEY MAPS, PAGE 7483, MAP NUMBER 7483, DOCUMENT NUMBER 2124292 (CSM 7483) AND PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, ALL LOCATED IN SECTION 8, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

Curve Table						
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Second Tangent Bearing
C1	9°16'55"	367.00'	59.45'	S86°30'23.5"W	59.39'	N88°51'09"W
C2	10°06'00"	367.00'	64.70'	S76°48'56"W	64.61'	S81°51'56"W
C3	19°22'55"	367.00'	124.15'	S81°27'23.5"W	123.56'	N88°51'09"W
C4	1°46'53"	1533.00'	47.66'	N72°39'22.5"E	47.66'	N73°32'49"E
C5	2°14'33"	1533.00'	60.00'	N74°40'05.5"E	60.00'	N75°47'22"E
C6	2°14'33"	1533.00'	60.00'	N76°54'38.5"E	60.00'	N78°01'55"E
C7	2°14'33"	1533.00'	60.00'	N79°09'11.5"E	60.00'	N80°16'28"E
C8	2°14'33"	1533.00'	60.00'	N81°23'44.5"E	60.00'	N82°31'01"E
C9	2°14'33"	1533.00'	60.00'	N83°38'17.5"E	60.00'	N84°45'34"E
C10	2°14'33"	1533.00'	60.00'	N85°52'50.5"E	60.00'	N87°00'07"E
C11	2°14'33"	1533.00'	60.00'	N88°07'23.5"E	60.00'	N89°14'40"E
C12	1°54'11"	1533.00'	50.92'	S89°48'14.5"E	50.92'	S88°51'09"E
C13	19°22'55"	1533.00'	518.58'	N81°27'23.5"E	516.12'	S88°51'09"E
C14	32°00'00"	200.00'	111.70'	N75°08'51"E	110.25'	N88°51'09"W
C15	32°00'00"	260.00'	145.21'	N75°08'51"E	143.33'	S88°51'09"E
C16	19°22'55"	1467.00'	496.26'	N81°27'23.5"E	493.89'	S88°51'09"E
C17	19°22'55"	433.00'	146.48'	S81°27'23.5"W	145.78'	N88°51'09"W
C18	90°44'55"	12.00'	19.01'	N45°46'23.5"E	17.08'	S88°51'09"E

Lot Area Table		
Parcel #	Square Feet	Acres
1	8,537	0.196
2	9,176	0.211
3	8,146	0.187
4	7,720	0.177
5	7,559	0.174
6	7,497	0.172
7	7,489	0.172
8	12,706	0.292
9	11,644	0.267
10	10,784	0.248
11	10,113	0.232
12	9,623	0.221
13	9,308	0.214
14	9,031	0.207
15	8,807	0.202
16	8,733	0.200
17	8,733	0.200
18	8,733	0.200
19	8,733	0.200
20	8,733	0.200
21	8,733	0.200
22	8,733	0.200
23	8,733	0.200
24	8,785	0.202
25	8,913	0.205
26	8,913	0.205
27	8,913	0.205
28	8,913	0.205
29	8,913	0.205
30	8,913	0.205
31	31,975	0.734

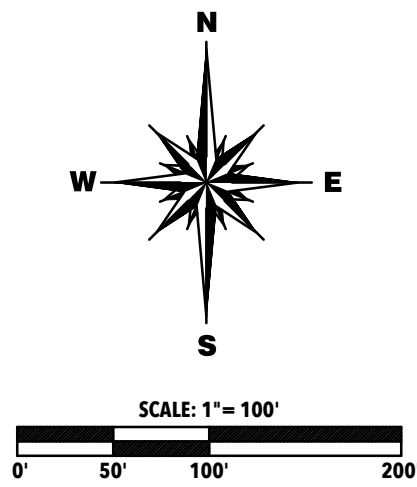
LEGEND

- Set 2.375" outside diameter x 30" iron pipe min. wt. 3.65 lb./lin. ft.
- Existing 1" iron pipe
- Existing 3/4" iron rod
- PLSS monument as noted

All other lot and outlet corners marked with a 1.125" outside dia x 18" iron pipe weighing 1.13 lbs/lin. ft.

All linear measurements have been made to the nearest hundredth of a foot and computed to the nearest hundredth of a foot.

All angular measurements have been made to the nearest three seconds and computed to the nearest half second.



Bearings are based on the Outagamie County Coordinate System. The east line of the Northeast 1/4 of Section 8, T21N-R18E, bears S01°35'23"E.

RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the property owner and maintained by the abutting property owners to provide for adequate drainage of surface water in compliance with the approved Subdivision Storm Water Management Plan.

No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

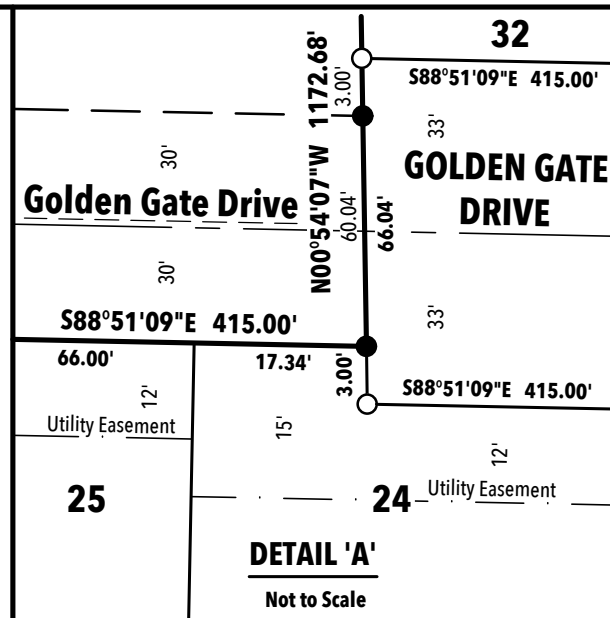
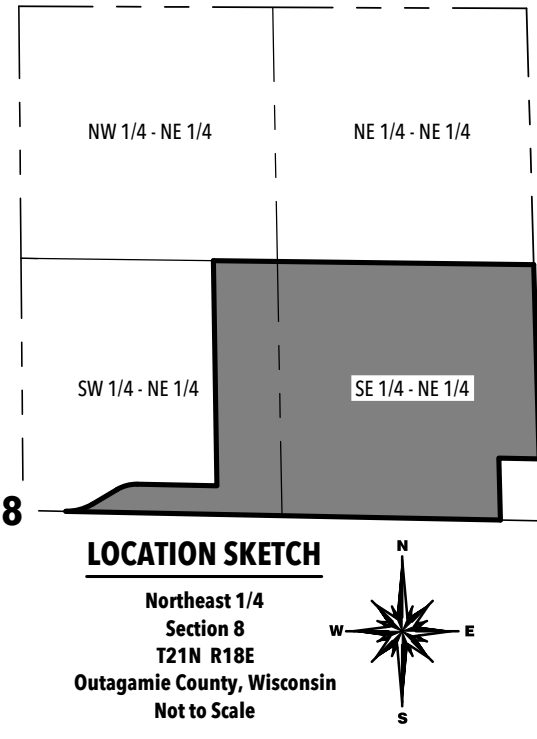
EROSION CONTROL NOTE

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Village has an adopted soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



UTILITY EASEMENT PROVISIONS

A non-exclusive easement granted to public utilities including but not limited to electric, natural gas, communications, water distribution, sewer collection, drainage, etc., is hereby granted by

EVANTRA, LLC, Grantor,
VILLAGE OF LITTLE CHUTE, Grantor, to

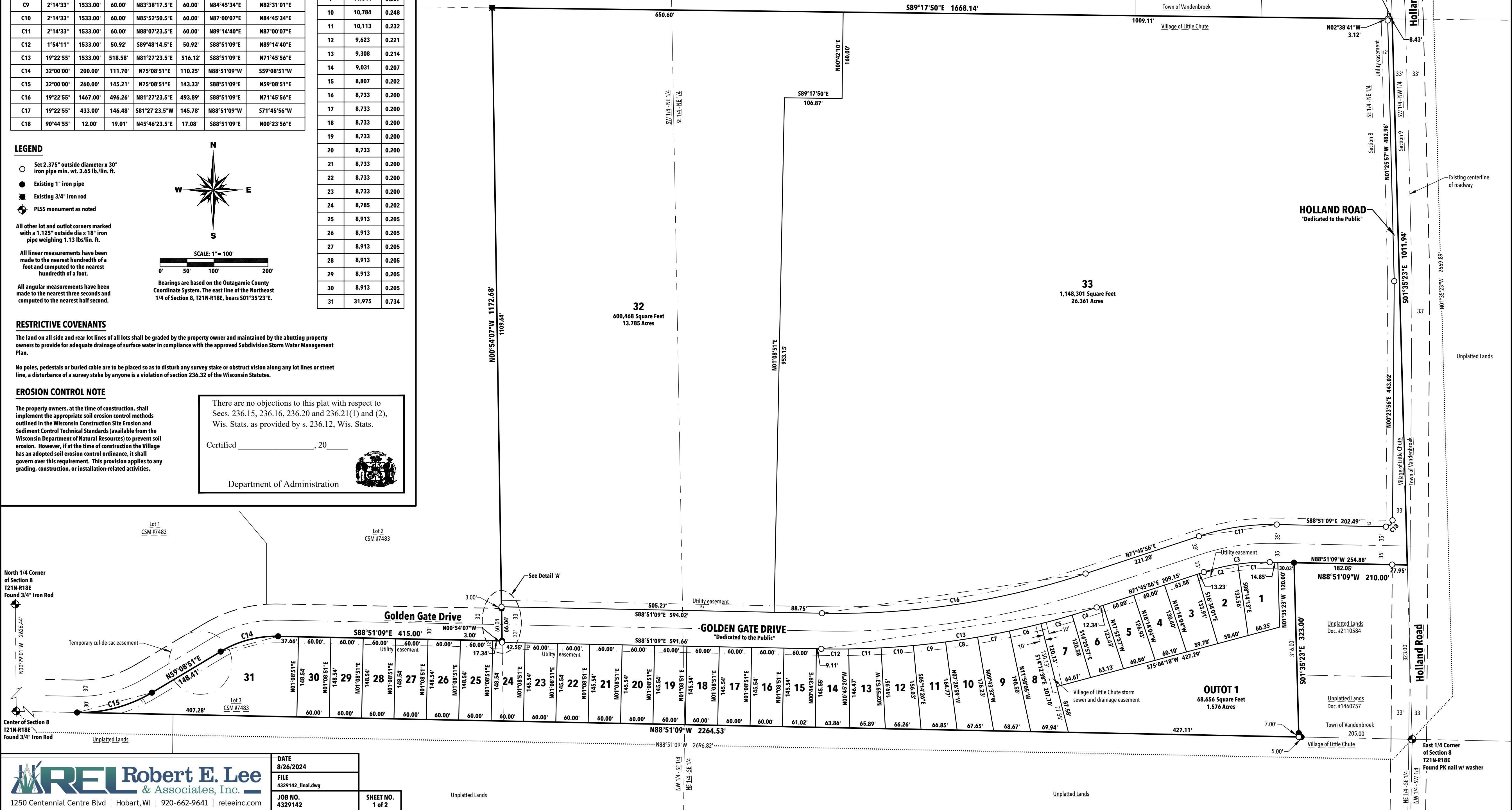
WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as WE ENERGIES and other Public Utilities, Grantee(s), their respective successors and assigns, to construct, install, operate, repair, maintain, and replace from time to time, facilities used in connection with underground public utilities for such purposes as the same is now or may hereafter be used, all in, under, across, along, and upon the property shown within those areas designated on the plat or CSM, together with the right to install service connections upon, across, within, and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush, and/or roots as may be reasonably required incidental to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. Structures shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of the Grantees. The grant of easement shall be binding upon and inure to the benefit of the heirs, successors, and assigns of all parties hereto.

PLATTED AREA DEDICATED TO THE PUBLIC

125,783 Square Feet
2.886 Acres

CROSS ACCESS EASEMENTS BETWEEN LOTS 32 AND 33

Lot 32 and Lot 33 grant to each other and conveys non-exclusive easements for the ingress, egress, and passage over and across the driveway areas of Lot 32 and Lot 33 as the same may from time to time be constructed and maintained for such use and for the passage and accommodation of pedestrians and vehicles over and across the driveways and sidewalk areas of Lot 32 and Lot 33 as the same may from time to time be constructed and maintained for such use that will enable Lot 32 and Lot 33 to have uninterrupted ingress and egress to Golden Gate Drive and Holland Road.



MAZZANTI ESTATES

ALL OF LOT 3, VOLUME 45 OF CERTIFIED SURVEY MAPS, PAGE 7483, MAP NUMBER 7483, DOCUMENT NUMBER 2124292 (CSM 7483) AND PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, ALL LOCATED IN SECTION 8, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE OF DEDICATION

Evantra, LLC, a limited liability corporation duly organized and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said limited liability corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Evantra, LLC does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- VILLAGE OF LITTLE CHUTE
- OUTAGAMIE COUNTY
- DEPARTMENT OF ADMINISTRATION

Dated this _____ day of _____, 2024.

By _____
Jeffrey T. Marlow

Title _____ Date _____

STATE OF WISCONSIN) _____
COUNTY) SS

Personally came before me this _____ day of _____, 2024 the above named officer of said limited liability corporation to me known to be the person who executed the foregoing instrument and to me known to be such officer of said limited liability corporation, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability corporation, by its authority.

_____, Notary Public,

_____, Wisconsin

My commission expires _____

OWNER'S CERTIFICATE OF DEDICATION

Village of Little Chute, a municipal corporaition duly organized and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said municipal corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Village of Little Chute does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- VILLAGE OF LITTLE CHUTE
- OUTAGAMIE COUNTY
- DEPARTMENT OF ADMINISTRATION

Dated this _____ day of _____, 2024.

By _____
Michael Vanden Berg, Village President

By _____
Laurie Decker, Village Clerk

STATE OF WISCONSIN) _____
COUNTY) SS

Personally came before me this _____ day of _____, 2024, the above named _____ and _____ to me known to be the persons who executed the foregoing instrument and to me known to be such officers of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said municipal corporation, by its authority.

_____, Notary Public,

_____, Wisconsin

My commission expires _____

VILLAGE OF LITTLE CHUTE BOARD RESOLUTION

Resolved that this plat which has been duly filed for approval of the Village Board of Little Chute, Outagamie County, Wisconsin, be and is hereby approved. I hereby certify

that this is a true and correct copy of a resolution adopted by the Village Board of Little Chute on the _____ day of _____, 2024.

Michael Vanden Berg
Village of Little Chute President

Laurie Decker
Village of Little Chute Clerk

VILLAGE OF LITTLE CHUTE TREASURER'S CERTIFICATE

I, being the duly appointed, qualified and acting Finance Director of the Village of Little Chute, do hereby certify that in accordance with the records in my office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

Lisa Remiker-Dewall
Village of Little Chute Finance Director

Date _____

OUTAGAMIE COUNTY TREASURER'S CERTIFICATE

As duly elected Outagamie County Treasurer, I hereby certify records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the date listed below.

Rochelle Oskey
Outagamie County Treasurer

Date _____

SURVEYOR'S CERTIFICATE

I, Troy E. Hewitt, Professional Land Surveyor, hereby certify that by the order and under the direction of the owners listed hereon, I have surveyed, divided and mapped a parcel of land being all of Lot 3, Volume 45 of Certified Survey Maps, Page 7483, Map Number 7483, Document Number 2124292 (CSM 7483) and part of the Southwest 1/4 of the Northeast 1/4 and part of the Southeast 1/4 of the Northeast 1/4, all located in Section 8, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin more fully described as follows:

Commencing at the Northeast corner of said Section 8; thence S01°35'23"E, 1334.95 feet on the east line of said Northeast 1/4 to the northeast corner of said Southeast 1/4 of the Northeast 1/4, the POINT OF BEGINNING; thence continuing S01°35'23"E, 1011.94 feet on said east line to the northeast corner of lands described in Document Number 2110584; thence N88°51'09"W, 210.00 feet on the north line of said lands to the northwest corner thereof; thence S01°35'23"E, 323.00 feet on the west line of said lands and continuing on the west line of lands described in Document Number 1460757 to the southwest corner thereof; thence N88°51'09"W, 2264.53 feet on the south line of said Southeast 1/4 of the Northeast 1/4 and continuing on the south line of said Southwest 1/4 of the Northeast 1/4 to the south right of way of Golden Gate Drive; thence 145.21 feet on the arc of a 260.00 foot radius curve to the left, having a long chord which bears N75°08'51"E, 143.33 feet on said south right of way; thence N59°08'51"E, 148.41 feet on said south right of way; thence 111.70 feet on the arc of a 200.00 foot radius curve to the right, having a long chord which bears N75°08'51"E, 110.25 feet on said south right of way; thence S88°51'09"E, 415.00 feet on said south right of way to the east right of way of said Golden Gate Drive; thence N00°54'07"W, 1172.68 feet on said east right of way and continuing on the east line of Lot 2 of said CSM 7483 to the northeast corner thereof; thence S89°17'50"E, 1668.14 feet on the north line of said Southwest 1/4 of the Northeast 1/4 and continuing on the north line of said Southeast 1/4 of the Northeast 1/4 to the Point of Beginning.

Said parcel contains 2,245,443 Square Feet (51.548 Acres) of land more or less. Subject to easements and restrictions of record.

That the within map is a true and correct representation of the exterior boundaries of the land surveyed and the division of that land and that I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes in the surveying, dividing and mapping of the same.

Troy E. Hewitt
ROBERT E. LEE & ASSOCIATES, INC.

PLS #2831

Date _____



1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

DATE
8/26/2024
FILE
4329142_final.dwg

JOB NO.
4329142

SHEET NO.
2 of 2

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration





Item For Consideration Plan Commission

Plan Commission Meeting Date: 9/9/2024

Prepared On: 9/4/2024

Agenda Item Topic: **Site Plan – Evantra Apartments (Phase 1)**

Prepared By: Jessica Titel, Community Development Department

Applicants: Lexington Homes & Aaron Breitenfeldt, Robert E. Lee & Associates

Owner (s): Evantra, LLC

Address/Parcel #: Golden Gate Drive, Parcel #'s 260446904 and 260446905

Request: An application for Site Plan review has been submitted for the construction of 142 multi-family residential units, which will include (8) 14 unit buildings and (3) 10 unit buildings.

Zoning Classification: RM Multi-Family Residential

Project Summary/Background: Phase 1 of proposed Evantra multi-family development will occur on Lot 32 within the recently approved Mazzanti Estates Subdivision and is 13.79 acres in size. The 10-unit buildings will be 9,029 square feet and the 14-unit buildings will be 12,164 square feet. The development includes attached garages and surface parking to meet minimum zoning code requirements. Cross access easements and connections are provided to accommodate traffic circulation for future phases. There will be one access point off Golden Gate Drive for Phase 1.

Previous Action:

- May 13, 2024 – Plan Commission recommended approval of the Preliminary Plat for Mazzanti Estates. A public hearing was also held regarding this item.
- June 5, 2024 – Village Board adopted Resolution No. 9, Series of 2024 approving the Mazzanti Estates preliminary plat.
- June 10, 2024 – Plan Commission recommended approval of the proposed rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.



Item For Consideration Plan Commission

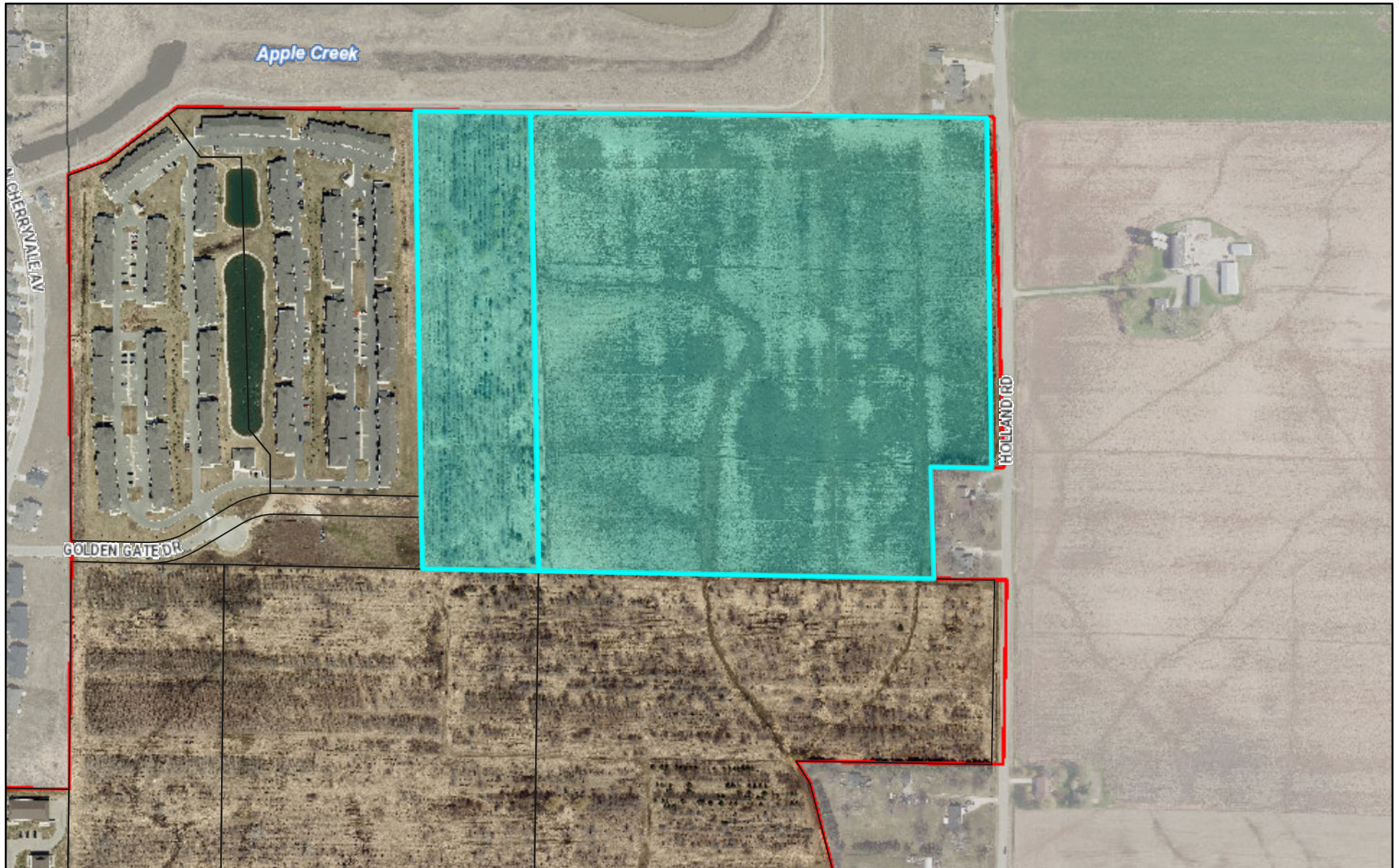
- July 17, 2024 – Village Board approved and adopted ordinances for the rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.

The applicant is proposing a private well for the subject property. The well is planned to be used for irrigation purposes and to maintain the water level in the pond. The Utility Commission has jurisdiction in reviewing/approving new private wells. Staff is recommending that any water used on site should be metered/billed through the public water utility and the Plan Commission not support the installation of a new private for this development.

Recommendation/Board Action: Staff is recommending approval of the Site Plan for Phase 1 of the Evantra multi-family development to the Village Board, subject to the satisfaction of all staff comments.

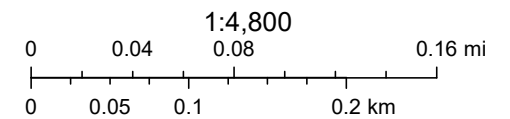
Respectfully Submitted,
Jessica Titel, Community Development Director

Site Plan Review - Evantra Multi-Family Development (Phase 1)



9/4/2024, 12:30:37 PM

 Parcels



Outagamie County, Village of Little Chute, REL & Associates, Inc.

**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION**

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS
APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS 2,000 Golden Gate Drive

LEGAL DESCRIPTION LOT 32 OF MAZZANTI ESTATES

PROPERTY OWNER(S) EVANTRA, LLC TELEPHONE (910) 662-1611

ADDRESS/ZIP 1256 CENTENNIAL (EAST BLVD, HOBBART, WI 54155) FAX -

APPLICANT ROBERT E LEE & ASSOCIATES, INC - AMON BREITENFLOT
CHECK: ☐ Architect ☒ Engineer ☐ Surveyor ☐ Attorney ☐ Agent ☐ Other

ADDRESS 1250 CENTENNIAL (EAST BLVD) TELEPHONE (910) 662-9641

CITY/ZIP HOBBART, WI 54155 FAX -

DESCRIBE IN **DETAIL** THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY _____

THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF 142-UNIT

MULTI-FAMILY DEVELOPMENT, INCLUDING (2) 14-UNIT BUILDINGS &

(3) 10-UNIT BUILDINGS

GROUND FLOOR ELEVATION VARIES LOT SIZE 13.79 AC FLOOR AREA 123,933 SF TOTAL

NUMBER OF STORIES IN BLDG 2 BASEMENT _____ YES ☒ NO ☐ BUILDING HEIGHT 32'

TOTAL CURRENT EMPLOYEES N/A EMPLOYEES ADDED BY EXPANSION N/A

IMPERVIOUS SURFACE COVERAGE SQ. FT. 344,958 SF # OF PARKING SPACES 400

**I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND
DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.**

APPLICANT SIGNATURE *Amon Breitenfлот* DATE 8, 15, 2014

44-387(f)	Site plan review fee	\$500.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN



Aaron Brettenfeldt

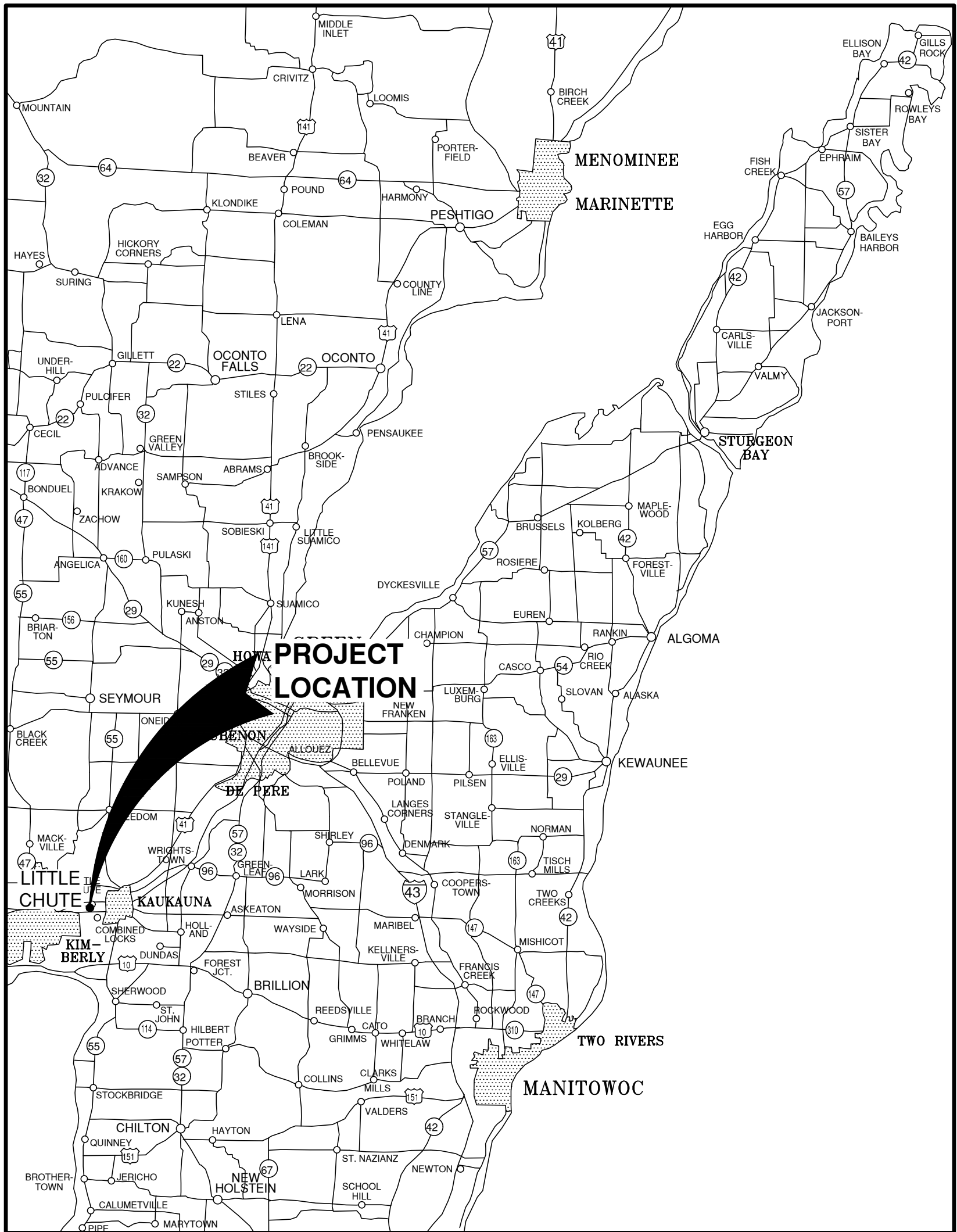
ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES,
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

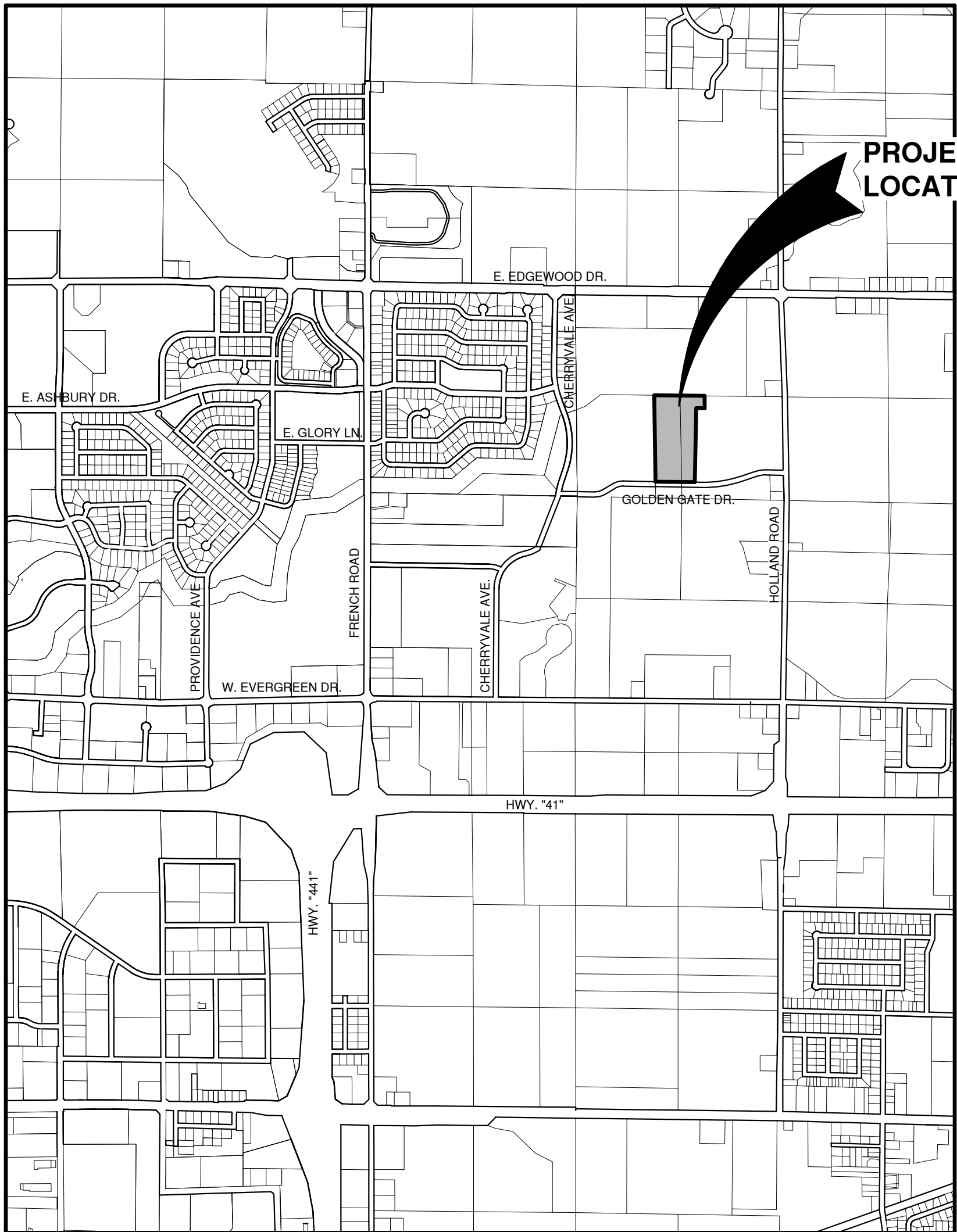
NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	OVERALL SITE PLAN
4	SOUTH SITE PLAN
5	NORTH SITE PLAN
6	OVERALL UTILITY PLAN
7	SOUTH UTILITY PLAN
8	NORTH UTILITY PLAN
9	OVERALL GRADING AND EROSION CONTROL PLAN
10	SOUTH GRADING PLAN
11	NORTH GRADING PLAN
12	POND PLAN AND DETAILS
13	POND SECTIONS
14	METER ROOM - PLAN, SECTION AND DETAILS
15	METER ROOM - SCHEMATIC DRAWING OF MASTER METER
16	MISCELLANEOUS DETAILS
17	MISCELLANEOUS DETAILS
18	MISCELLANEOUS DETAILS
19	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
20	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
21	EROSION CONTROL - DITCH CHECK DETAILS
22	EROSION CONTROL - SHEET FLOW DETAILS
23	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
24	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
25	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS



VICINITY MAP



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	LOCATION MAPS	DATE 04/2024 FILE 4329161C EVANTRA JOB NO. 4329161	Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. C
								CHECKED					
								DESIGNED AJS					

OWNER/CONTRACTOR INFORMATION:

LEXINGTON HOMES, INC.
1256 CENTENNIAL CENTRE BLVD.
HOBART, WI 54155

(920) 662-1611

CONTACT: JEFF MARLOW

UTILITY INFORMATION:

UTILITIES PRESENT:
VILLAGE OF LITTLE CHUTE DEPT. OF PUBLIC WORKS, CITY OF APPLETON DEPT. OF PUBLIC WORKS, WE ENERGIES, AND AT & T.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBERS 20191811692 AND 20191811695, DATED 05/10/2019, VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
VILLAGE OF LITTLE CHUTE
108 WEST MAIN STREET
LITTLE CHUTE, WI 54140

(920) 423-3865

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
CITY OF APPLETON
100 N. APPLETON ST.
APPLETON, WI 54914

(920) 832-6474

GAS & ELECTRIC:
WE ENERGIES
800 S. LYNNDALE DR.
APPLETON, WI 54914

(800) 242-9137

TELECOMMUNICATIONS:
AT & T / SBC
205 S. JEFFERSON ST.
GREEN BAY, WI 54301

(920) 433-4147



TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL

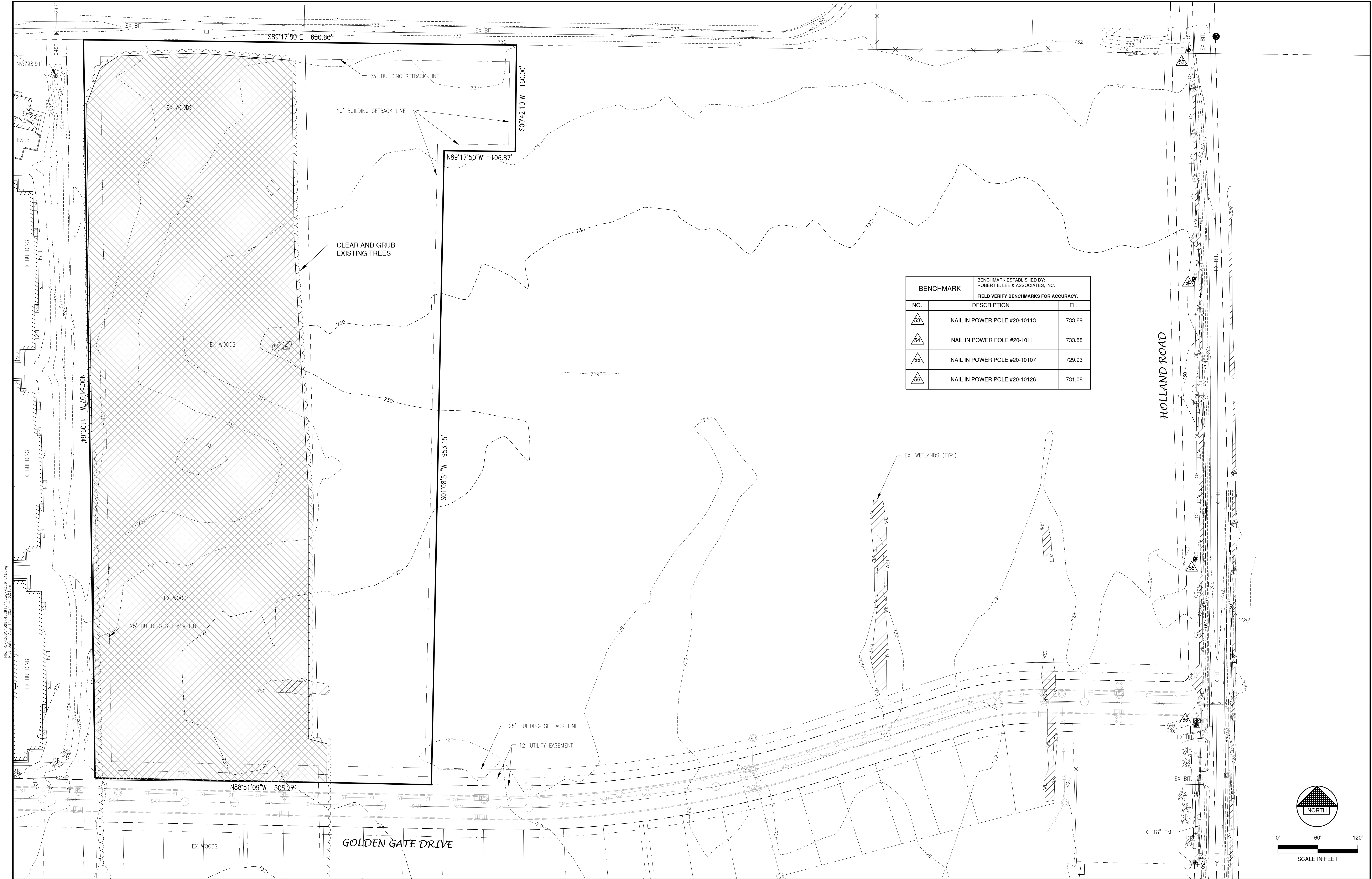
- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD

- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- CULVERT
- WETLANDS
- HANDICAP PARKING
- TO BE REMOVED
- TO BE DEMOLISHED

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE

- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

- | | | | | | | | |
|------|------------|------|----------------|-----|--------------------------------|------|--------------------------|
| GR. | GRAVEL | WM | WATERMAIN | VPC | VERTICAL POINT OF CURVATURE | B-B | BACK TO BACK (OF CURB) |
| BIT. | BITUMINOUS | HYD. | HYDRANT | VPI | VERTICAL POINT OF INTERSECTION | F-F | FACE TO FACE (OF CURB) |
| ASPH | ASPHALT | WV | WATER VALVE | VPT | VERTICAL POINT OF TANGENCY | R/W | RIGHT OF WAY |
| CONC | CONCRETE | SAN | SANITARY SEWER | PC | POINT OF CURVATURE | T/C | TOP OF CURB |
| SW | SIDEWALK | MH | MANHOLE | PI | POINT OF INTERSECTION | F/L | FLOW LINE |
| BLDG | BUILDING | ST | STORM SEWER | PT | POINT OF TANGENCY | C/L | CENTERLINE |
| HSE | HOUSE | CB | CATCH BASIN | R | RADIUS | R/L | REFERENCE LINE |
| PED | PEDESTAL | TELE | TELEPHONE | EX | EXISTING | INV | INVERT |
| PP | POWER POLE | ELEC | ELECTRIC | PR | PROPOSED | CMP | CORRUGATED METAL PIPE |
| LP | LIGHT POLE | TV | TELEVISION | EOR | END OF RADIUS | RCP | REINFORCED CONCRETE PIPE |
| BM | BENCH MARK | STA. | STATION | BOC | BACK OF CURB | CULV | CULVERT |



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
NO.		FIELD VERIFY BENCHMARKS FOR ACCURACY.
DESCRIPTION		EL.
53	NAIL IN POWER POLE #20-10113	733.69
54	NAIL IN POWER POLE #20-10111	733.88
55	NAIL IN POWER POLE #20-10107	729.93
56	NAIL IN POWER POLE #20-10126	731.08

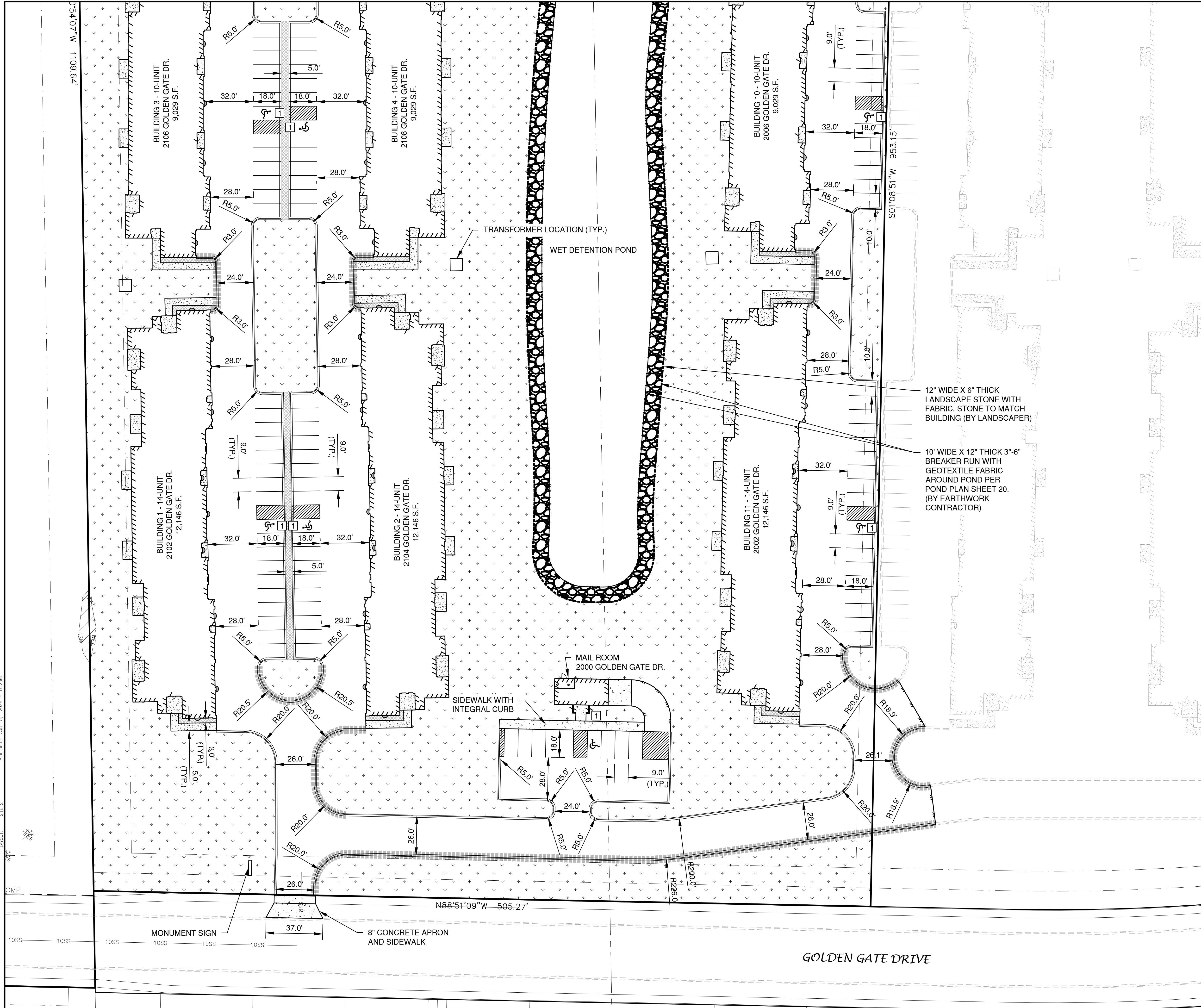
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP
								CHECKED
								DESIGNED AJB

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

DATE 04/20/24
FILE 4329161T
JOB NO. 4329161

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com



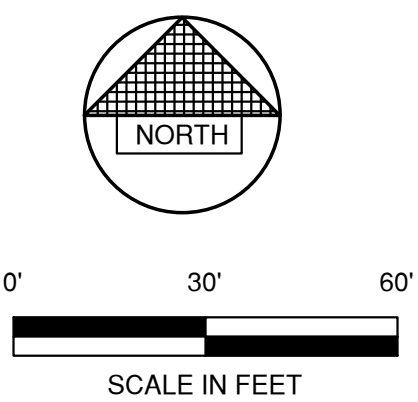
LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" MOUNTABLE CURB AND GUTTER
- PROPOSED 18" MOUNTABLE SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS
- WALL PACK

1

2

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE



NO. DATE APPROV. REVISION				NO. DATE APPROV. REVISION				DRAWN LLP CHECKED DESIGNED AJS		EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN		SOUTH SITE PLAN		DATE 06/2024 FILE 4329161D JOB NO. 4329161		REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com		SHEET NO. 4	
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Plot Date: Aug 15, 2024 2:24pm
LAYOUT: UTILITY

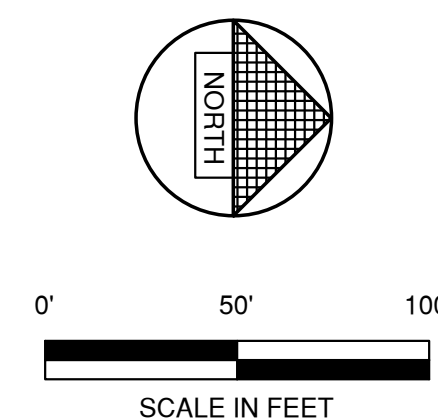
GOLDEN GATE DRIVE

LEGEND

	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER (SIZE NOTED)
	PROPOSED STORM SEWER
	EXISTING STORM SEWER (SIZE NOTED)
	PROPOSED WATERMAIN
	EXISTING WATERMAIN (SIZE NOTED)

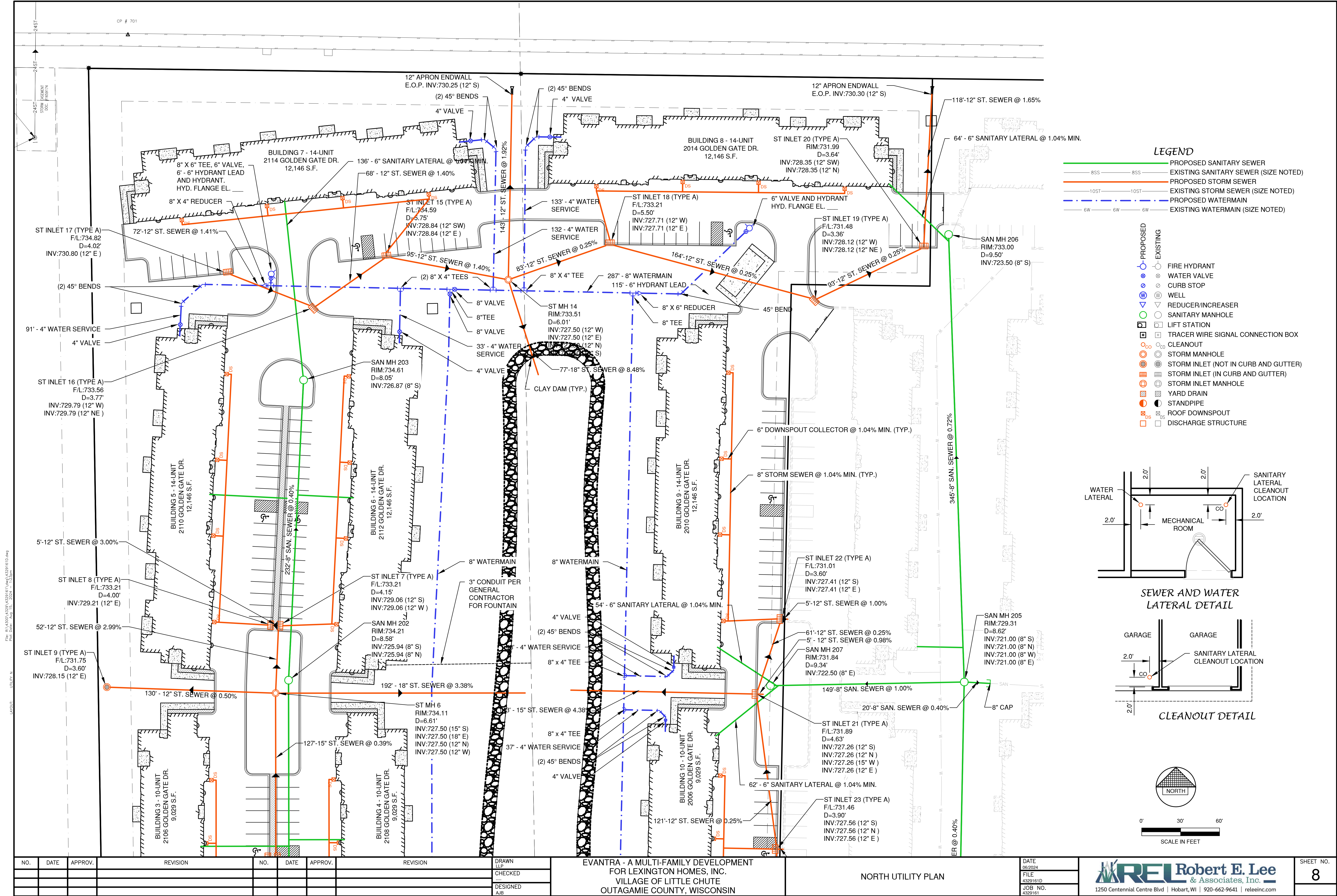
	PROPOSED		EXISTING
	PROPOSED		EXISTING
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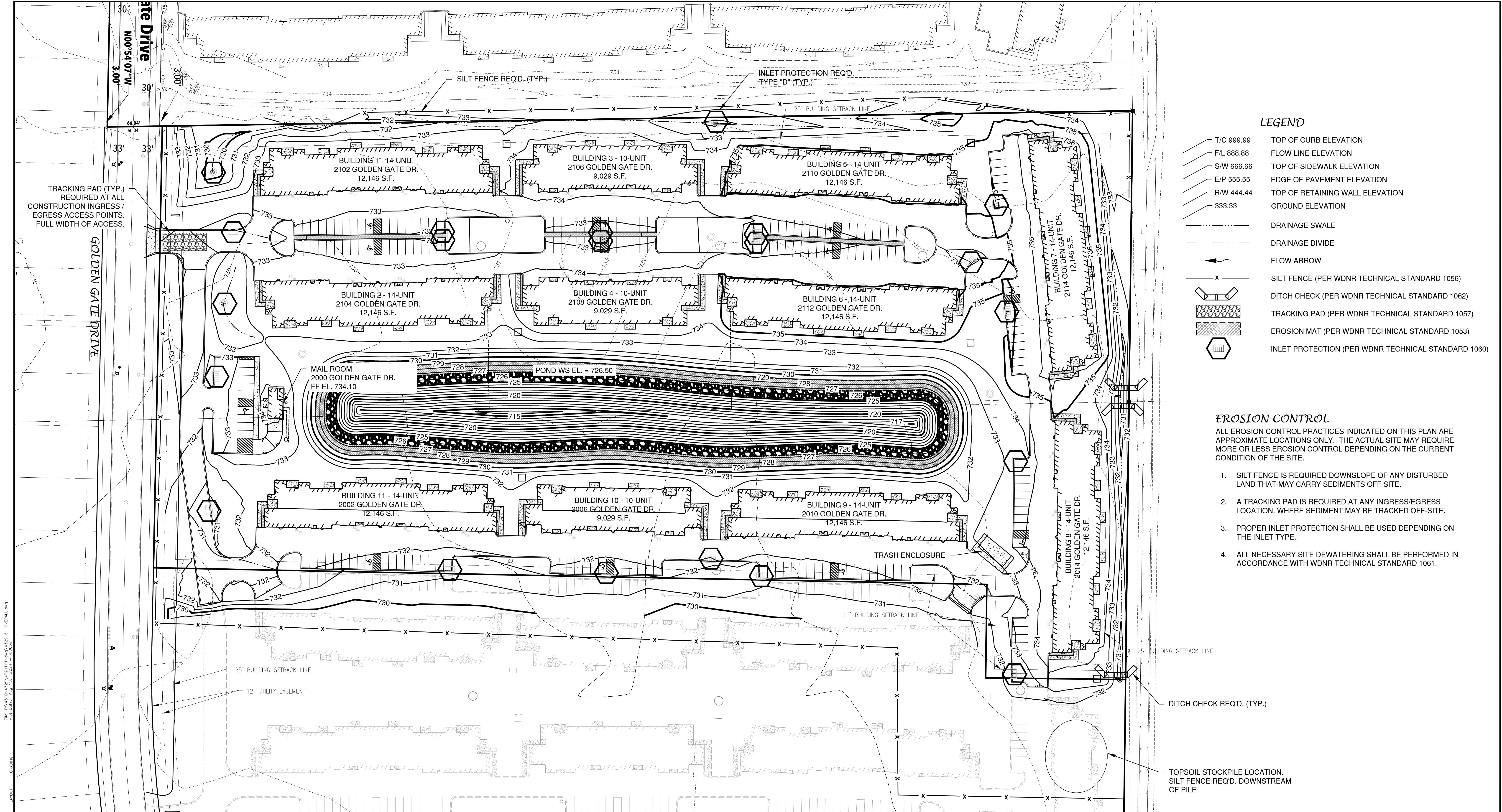
- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	DATE
								LLP	07/2024
								CHECKED	FILE
								DESIGNED	4329161 OVERALL
								AJB	JOB NO.
									4329161

EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	OVERALL UTILITY PLAN	REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 6
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LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

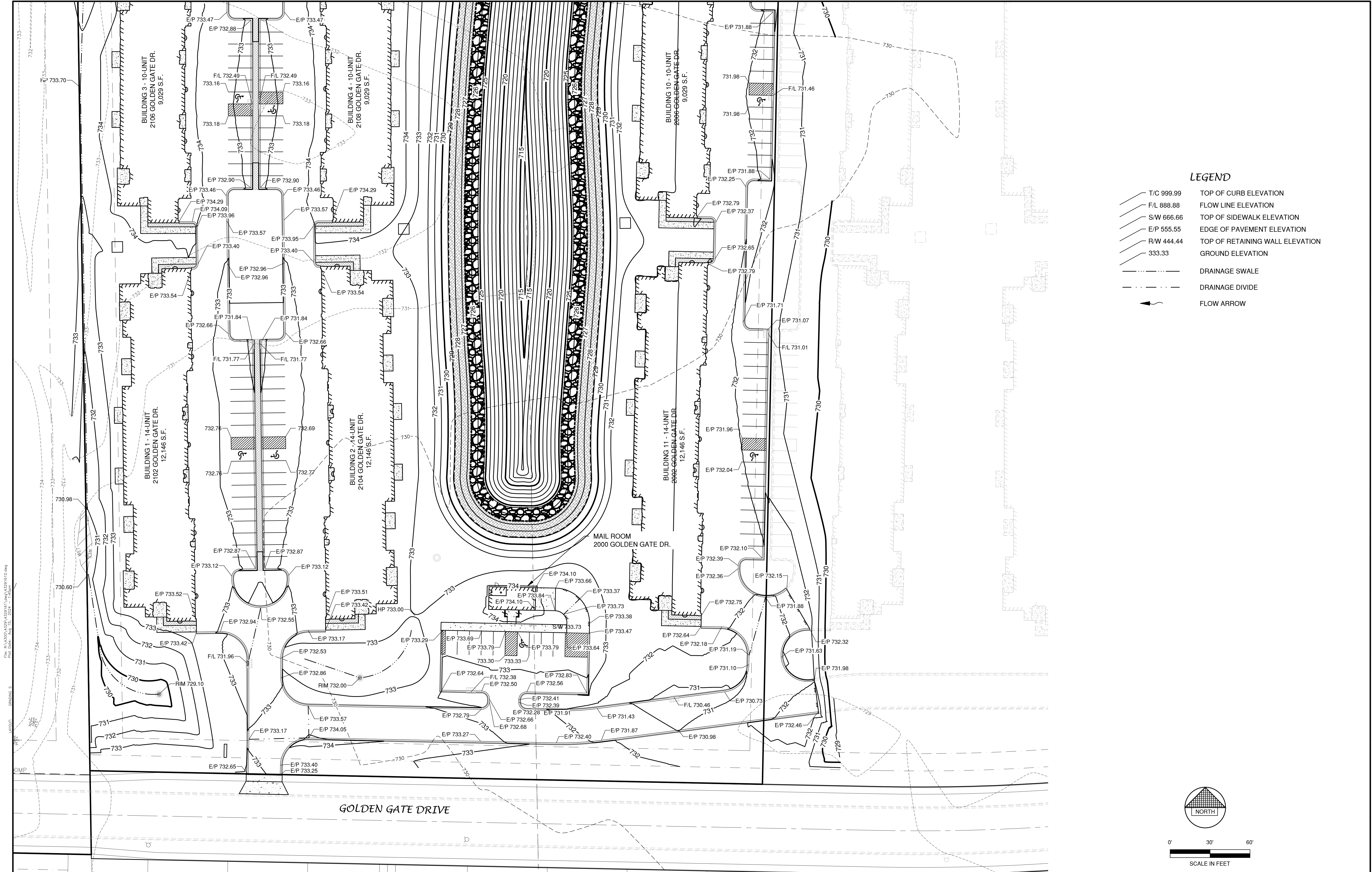
ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

- SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
- A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
- PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
- ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

CONSTRUCTION SEQUENCE

- INSTALL EROSION CONTROL BMP'S SUCH AS SILT FENCE, INLET PROTECTION, AND TRACKING CONTROL PADS PRIOR TO ANY SITE DISTURBANCE.
- STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE OR DISPOSE OF AS NEEDED. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF ANY TOPSOIL STOCK PILES THAT WILL REMAIN IN PLACE LONGER THAN 7 DAYS.
- BEGIN SITE EXCAVATION, FILLING, AND ROUGH GRADING TO ACCOMMODATE PROPOSED FACILITIES. TOPSOIL, SEED, AND E-MAT ALL POND AND SWALE SLOPES AS SOON AS PRACTICAL TO PREVENT EROSION.
- INSTALL STORM SEWER AND ALL NECESSARY UTILITIES.
- BEGIN BUILDING AND PARKING LOT CONSTRUCTION.
- TOPSOIL, SEED, AND MULCH TO STABILIZE ALL REMAINING DISTURBED AREAS.
- ONCE SITE VEGETATION HAS REACHED 70%, ALL EROSION CONTROL BMP'S MAY BE REMOVED

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	OVERALL GRADING AND EROSION CONTROL PLAN	DATE 07/2024 FILE 4329161 OVERALL JOB NO. 4329161	REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 9
								CHECKED					
								DESIGNED AJS					



File: P:\4-2024\43291610.dwg
Plot Date: Aug 15, 2024
LAYOUT: GRADING S
DMP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP
								CHECKED
								DESIGNED AJB

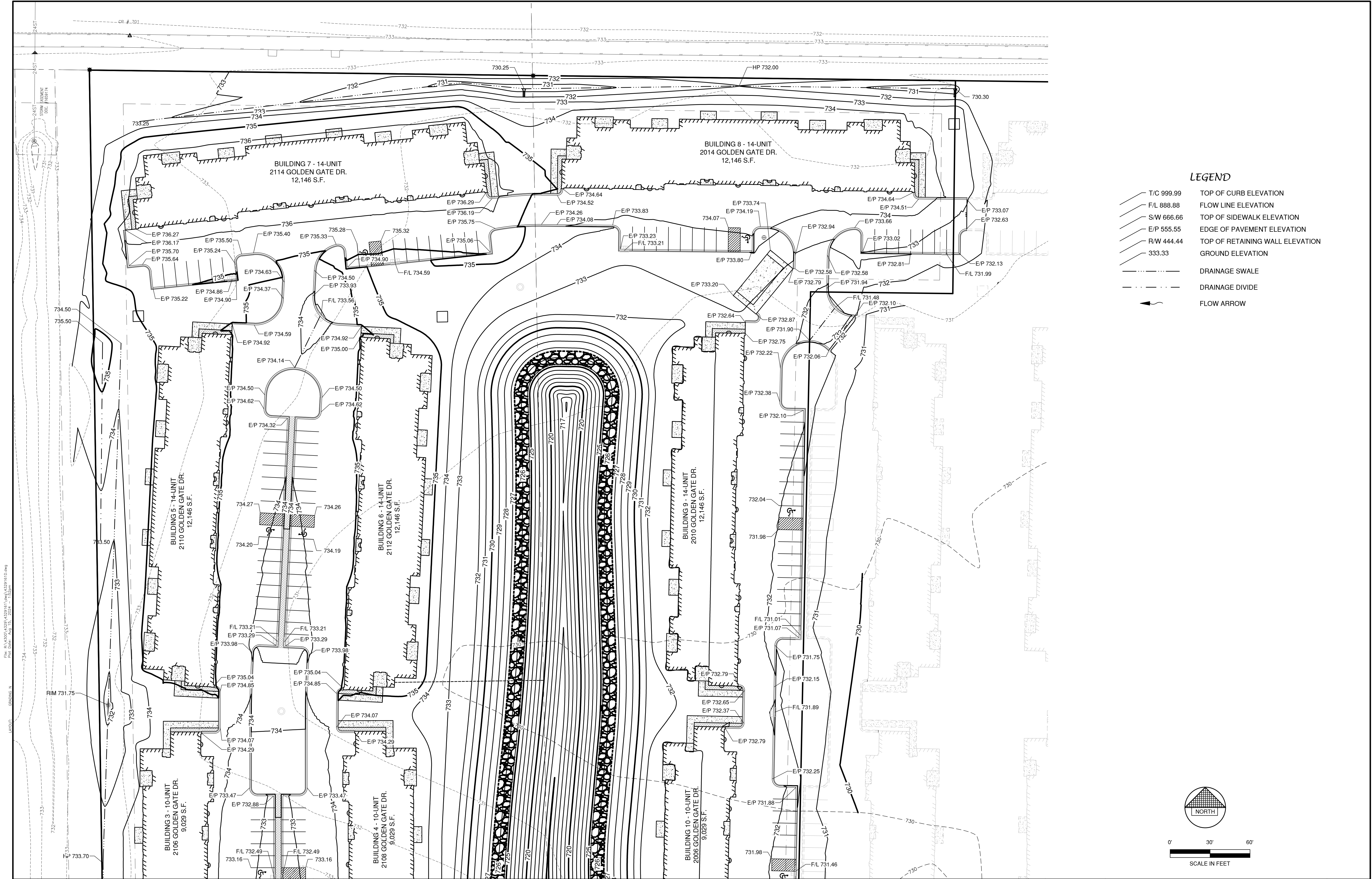
EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

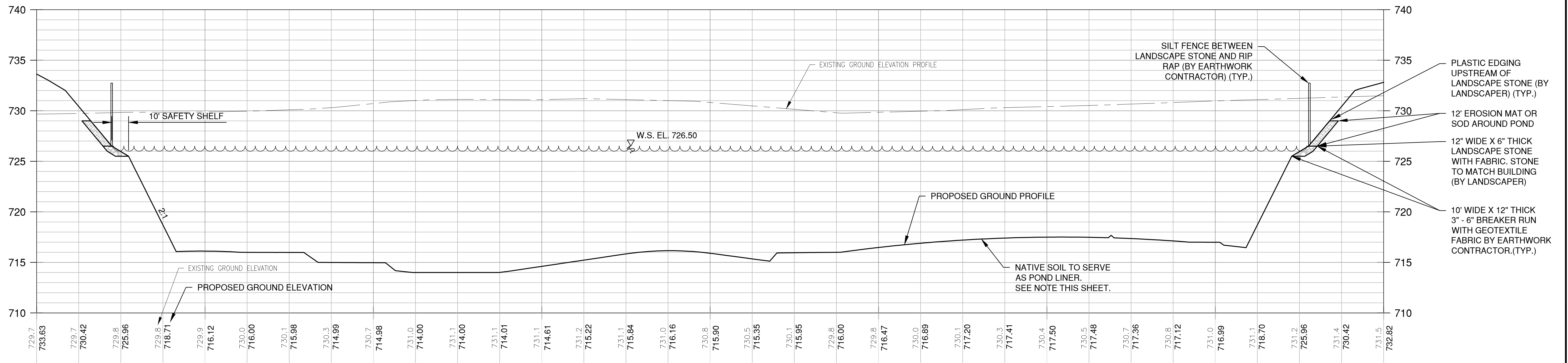
SOUTH GRADING PLAN

DATE 06/20/24
FILE 43291610
JOB NO. 4329161

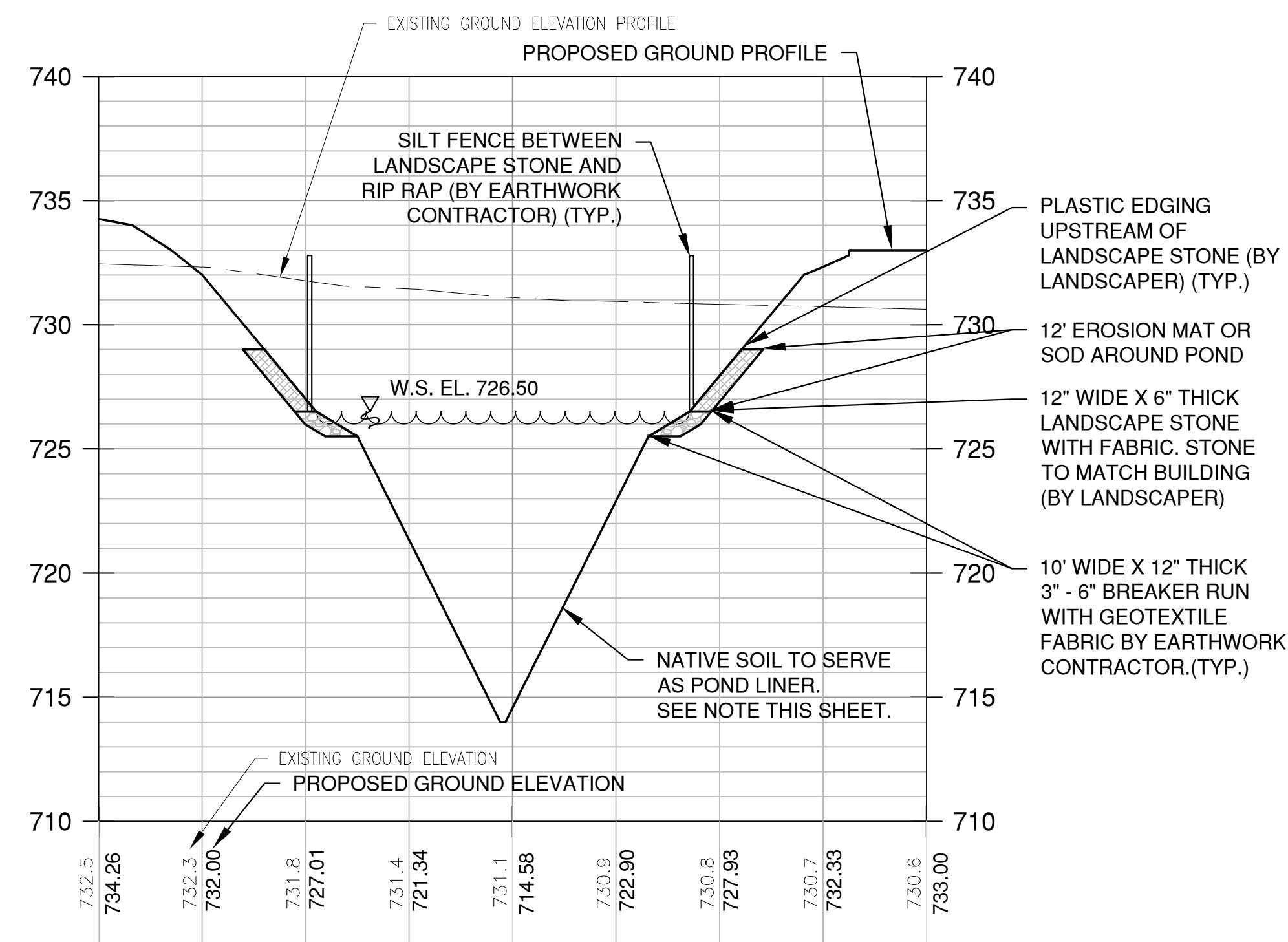


SHEET NO.
10





POND CONSTRUCTION NOTE
CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF 1×10^{-7} cm/sec OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WDNr TECHNICAL STANDARD 1001.
PROVIDE ALTERNATE BID FOR IMPORTED CLAY LINER IF ONSITE SOILS ARE UNSUITABLE FOR LINER



FILE: P:\43201\43201\43201.dwg
PLOT DATE: Aug 15, 2024
LAYOUT: SECTIONS


$$\frac{1}{14}$$

SCALE: NTS



SCALE: NTS



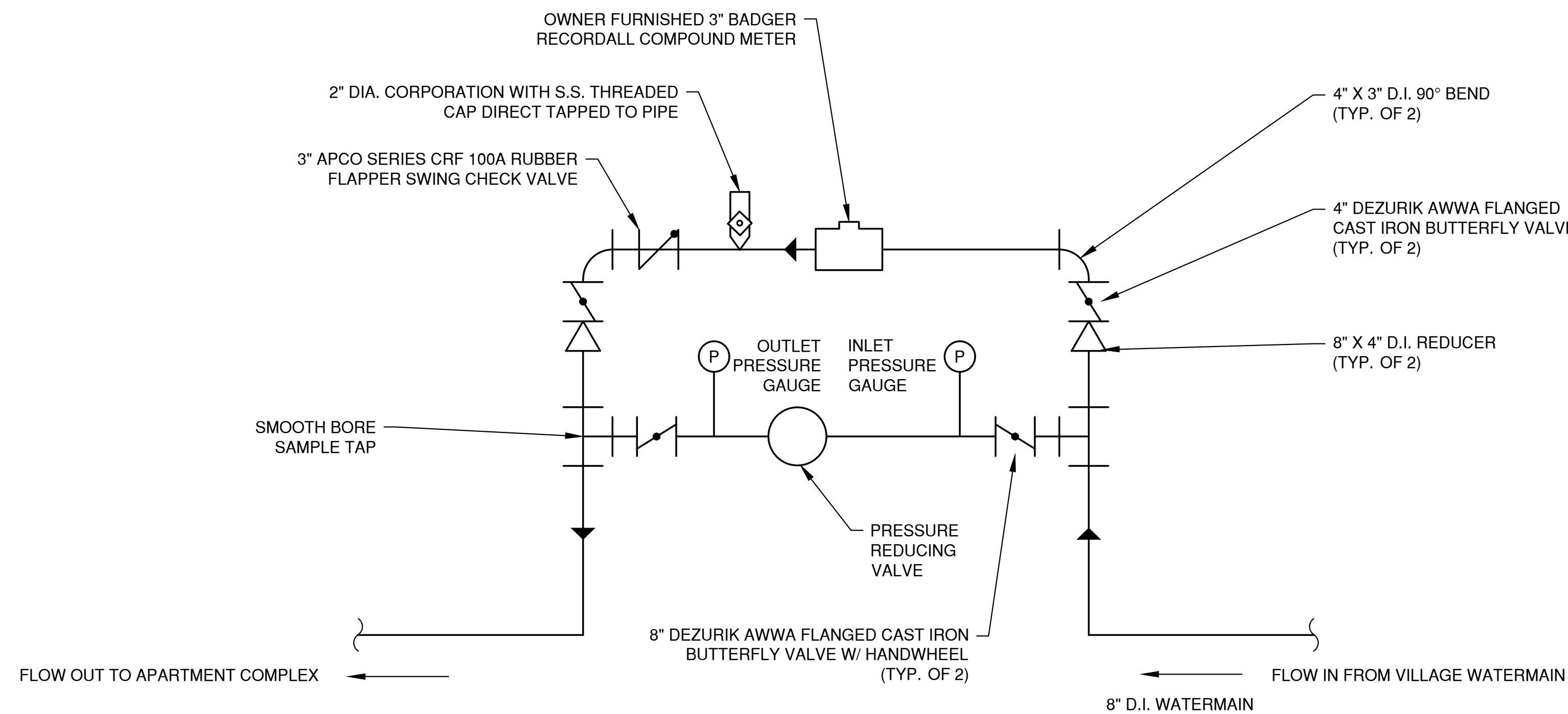
SCALE: NTS

*NOTE: PIPE STAND MAY BE COMBINED WITH STANTION PIPE SUPPORT

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN


METER ROOM PLAN, SECTION AND DETAILS

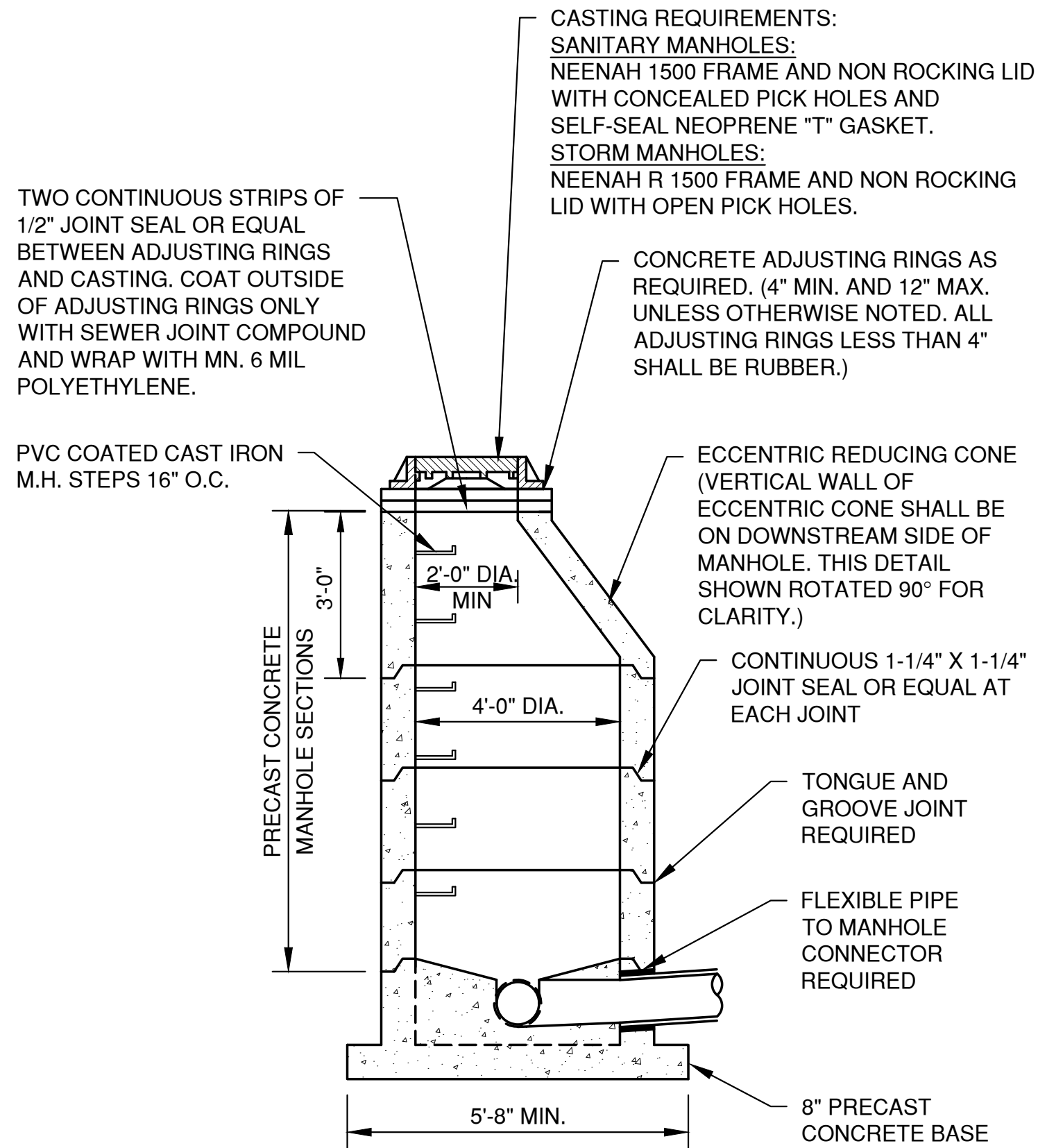
 **REL** Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releeinc.com



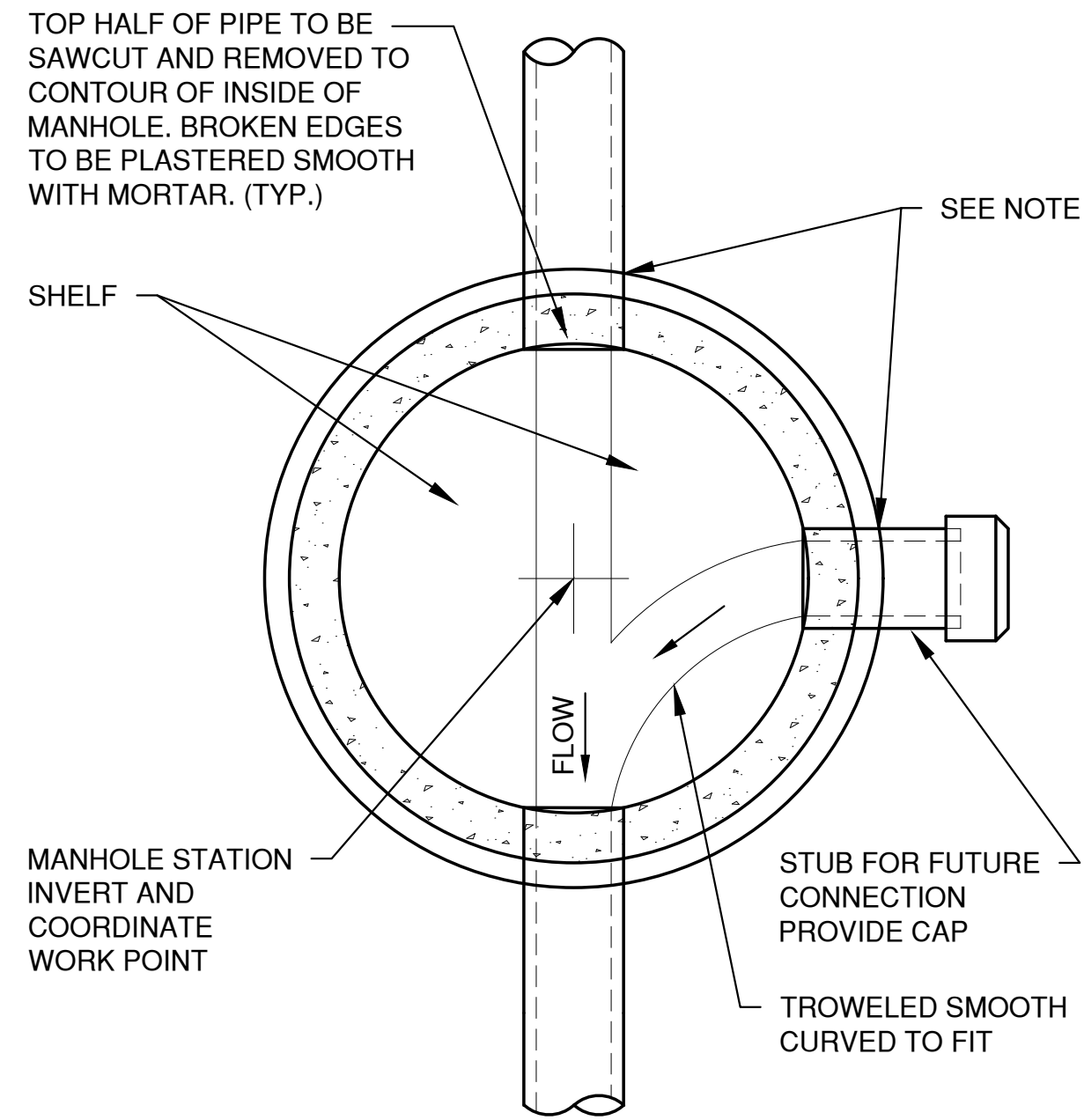
PRESSURE REDUCING VALVE SHALL BE SINGER VALVE MODEL S106-PR-C, CLA-VAL VALVE MODEL 90-01BYKCVDP, OR EQUAL, WITH PRESSURE RELIEF PILOT MODEL PR-160 (NORMALLY OPEN) WITH 20 PSI TO 200 PSI PILOT SPRING RANGE PRESET @ 60 PSI OR EQUAL. PROVIDE CHECK FEATURE. PROVIDE AN OXY NITRIDE COATED STEM AND DRY POSITION INDICATOR.

MASTER METER SCHEMATIC

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	METER ROOM SCHEMATIC DRAWING OF MASTER METER	DATE 08/2024	 Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 15
								CHECKED			FILE METER RM		
								DESIGNED JJS			JOB NO. 4329161		

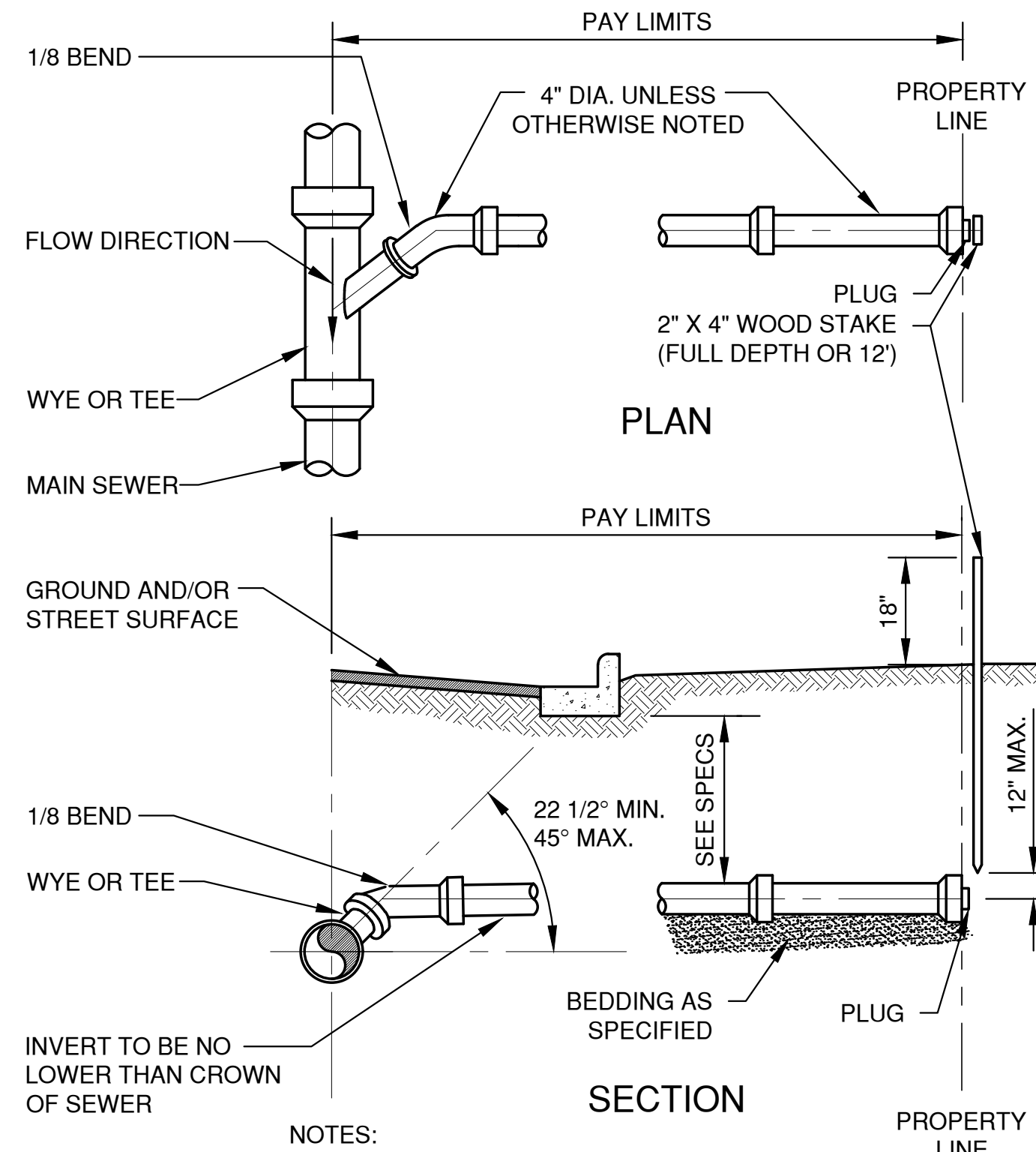


SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)



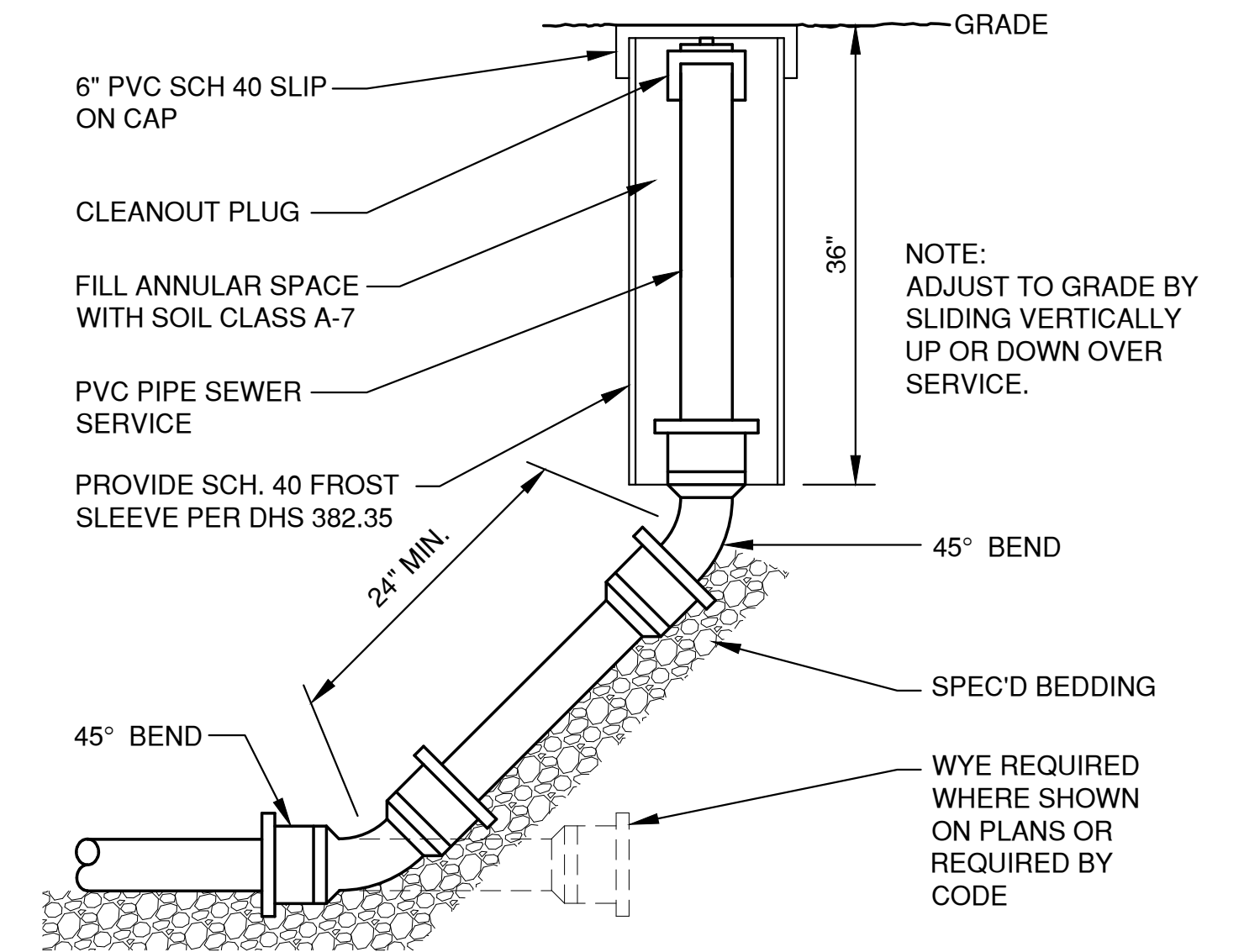
MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)

NOTE:
 FOR PVC PIPE PROVIDE AN APPROVED FLEXIBLE JOINT.

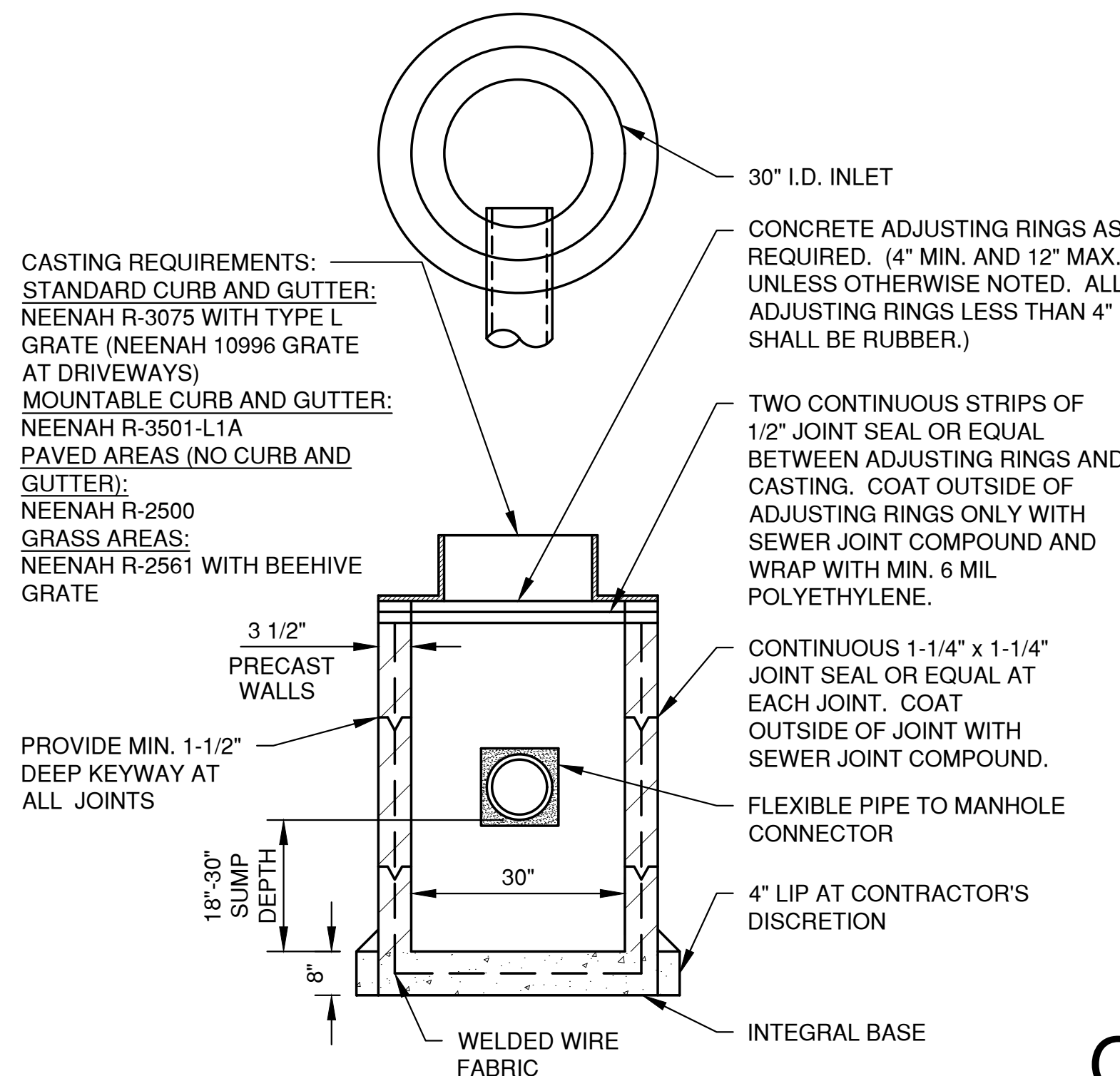


STANDARD SERVICE LATERAL

NOTE: CLEANOUT LINE TO BE THE SAME SIZE AND MATERIAL AS SEWER MAIN



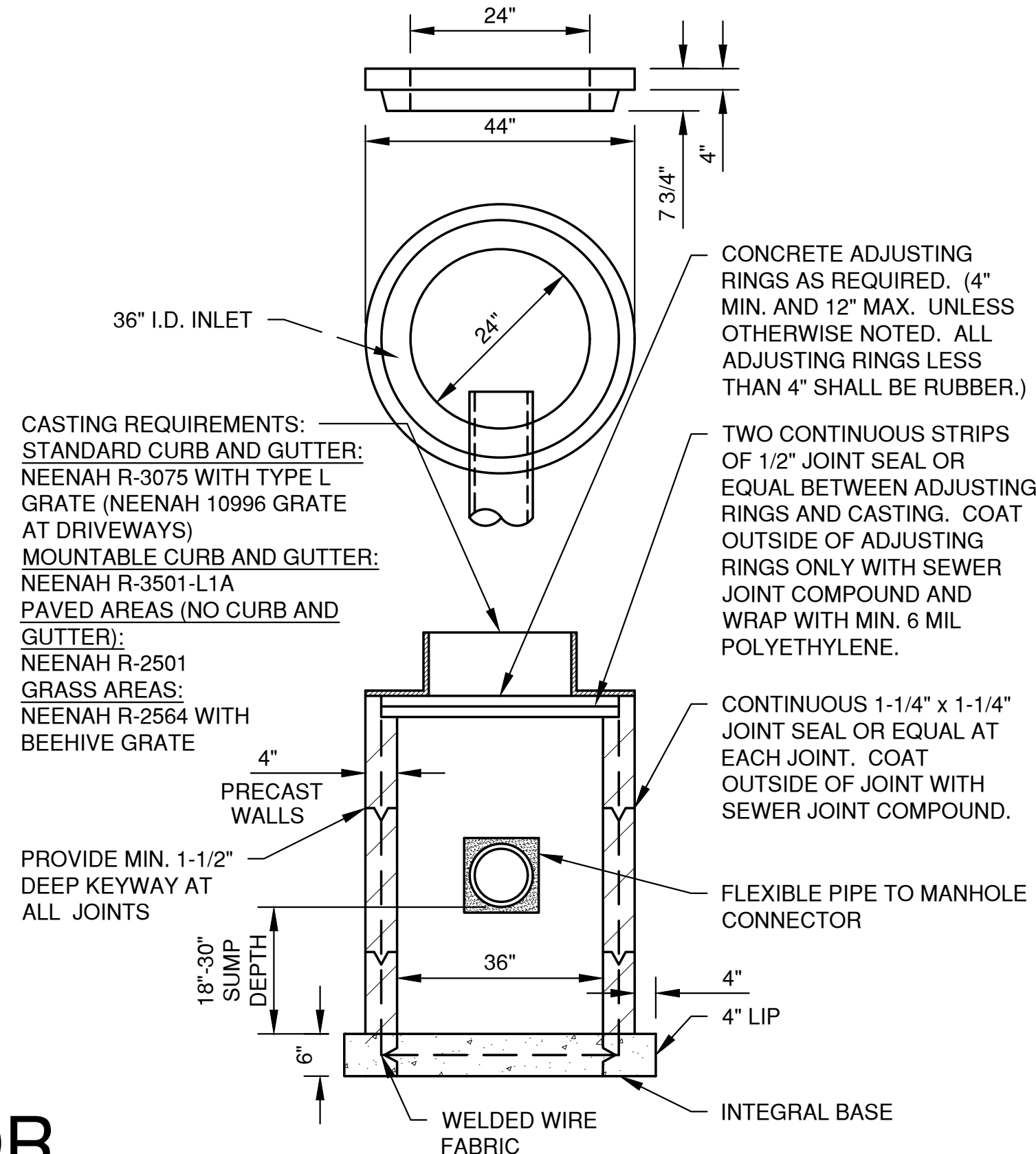
CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)



TYPE 'A' STORM INLET

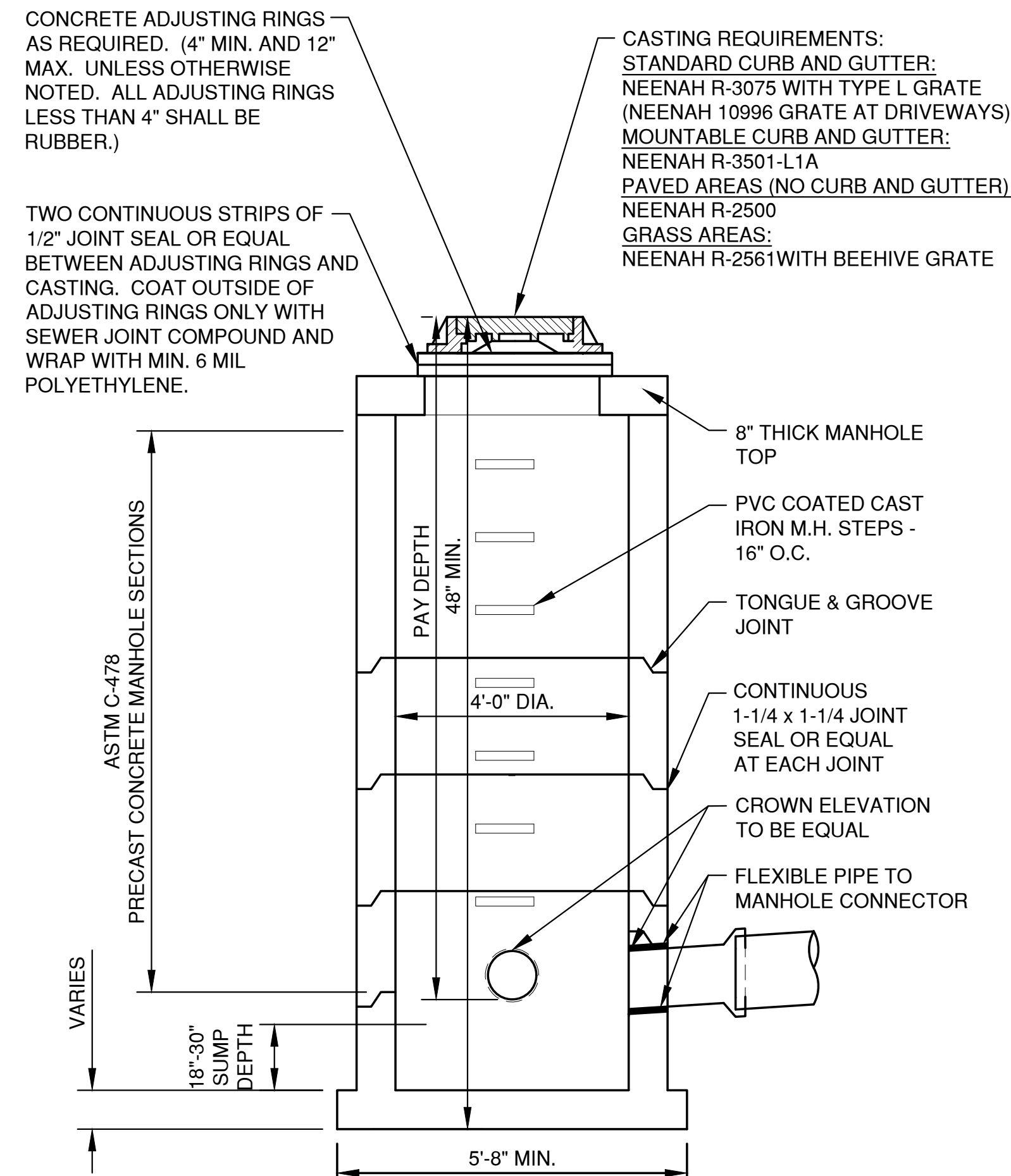
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

OR



TYPE 'A' STORM INLET

ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199



STORM INLET MANHOLE TYPE "A"

File: R-3-2024-1239-A329117.dwg (A3291-61 DET.dwg)
 Plot Date: Aug 08, 2024 1:22:40pm
 LAYOUT: DETAILS (1)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
								JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
 FOR LEXINGTON HOMES, INC.
 VILLAGE OF LITTLE CHUTE
 OUTAGAMIE COUNTY, WISCONSIN

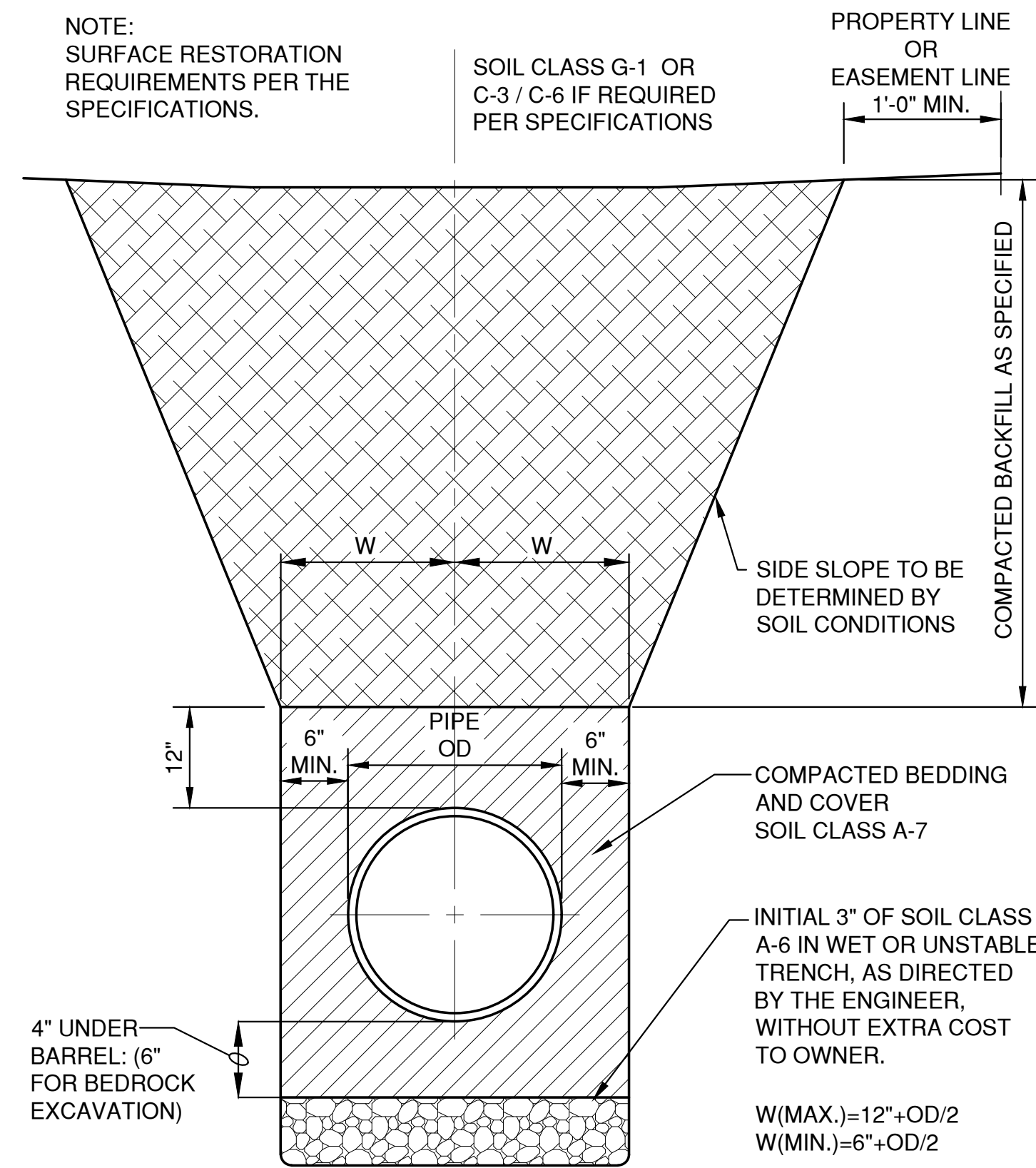
MISCELLANEOUS DETAILS

DATE	04/20/24
FILE	4329161.DET
JOB NO.	4329161

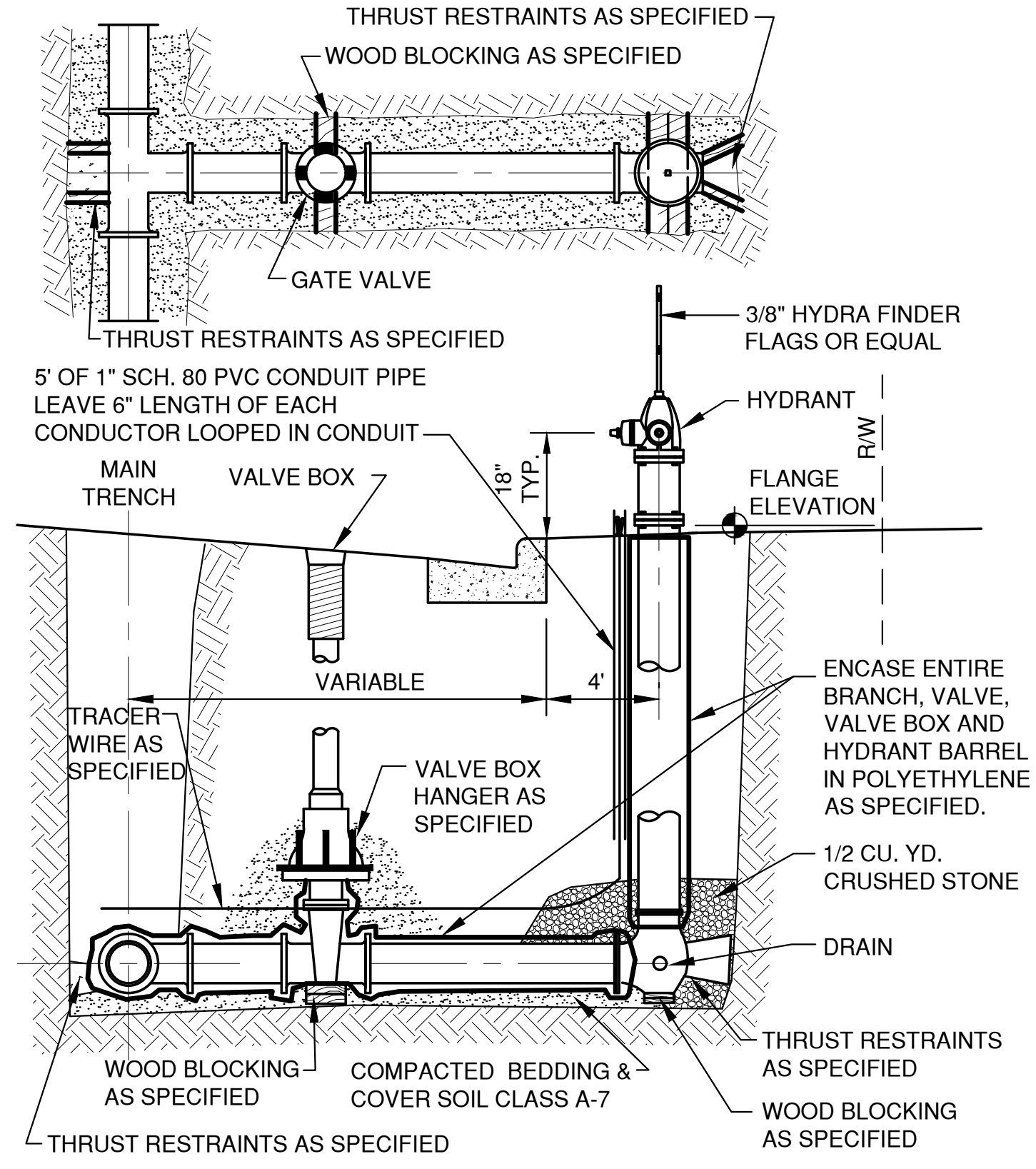
REL Robert E. Lee & Associates, Inc.
 1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com

SHEET NO.
16

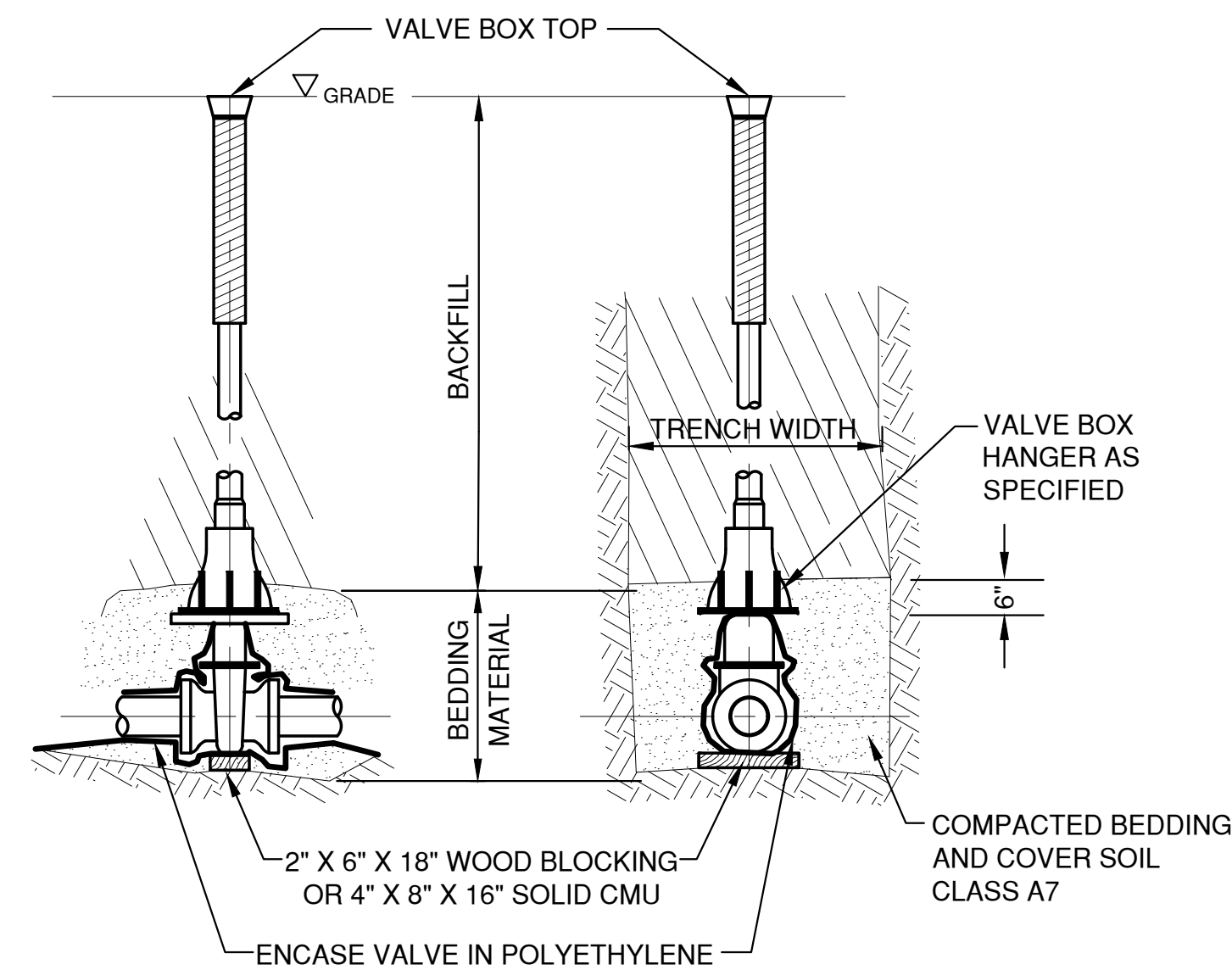
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LAYOUT: DETAILS (2)



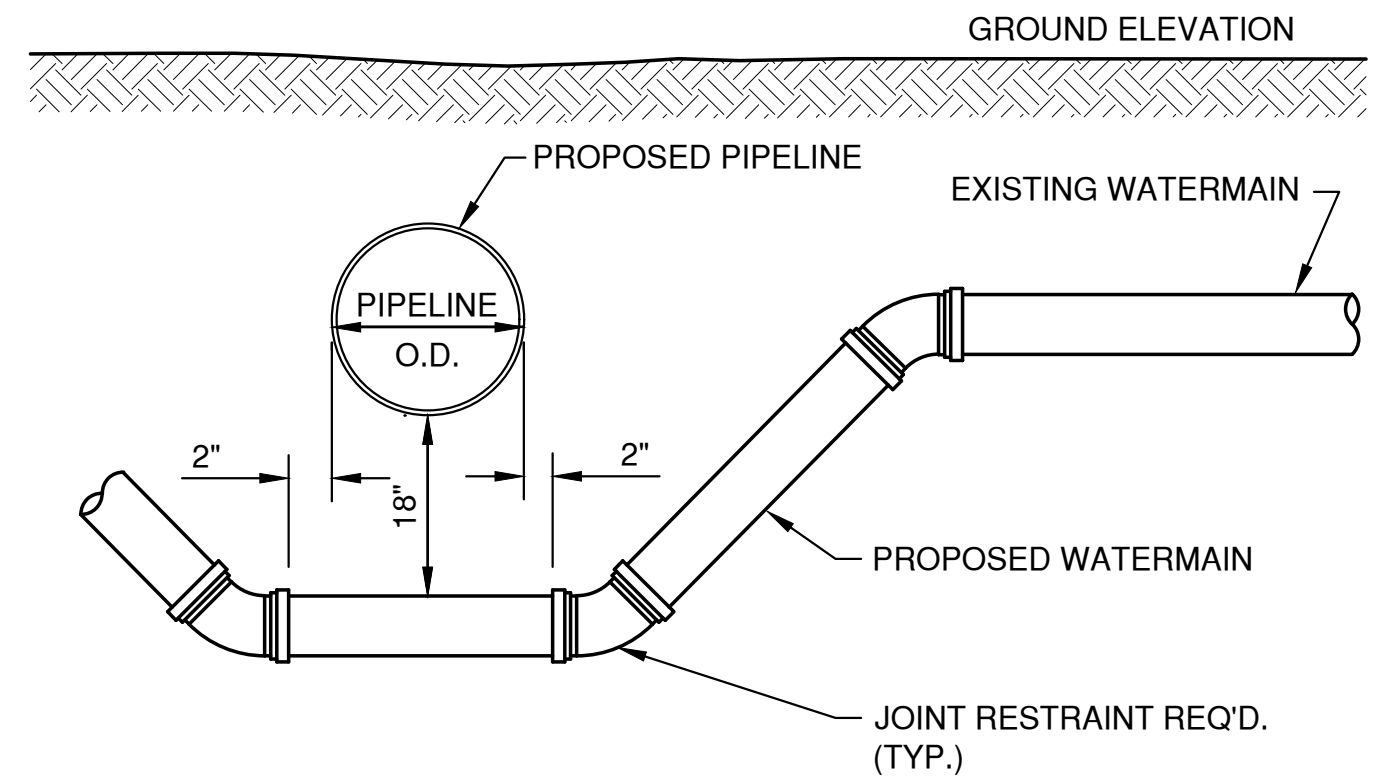
HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN BEDDING AND TRENCH DETAIL



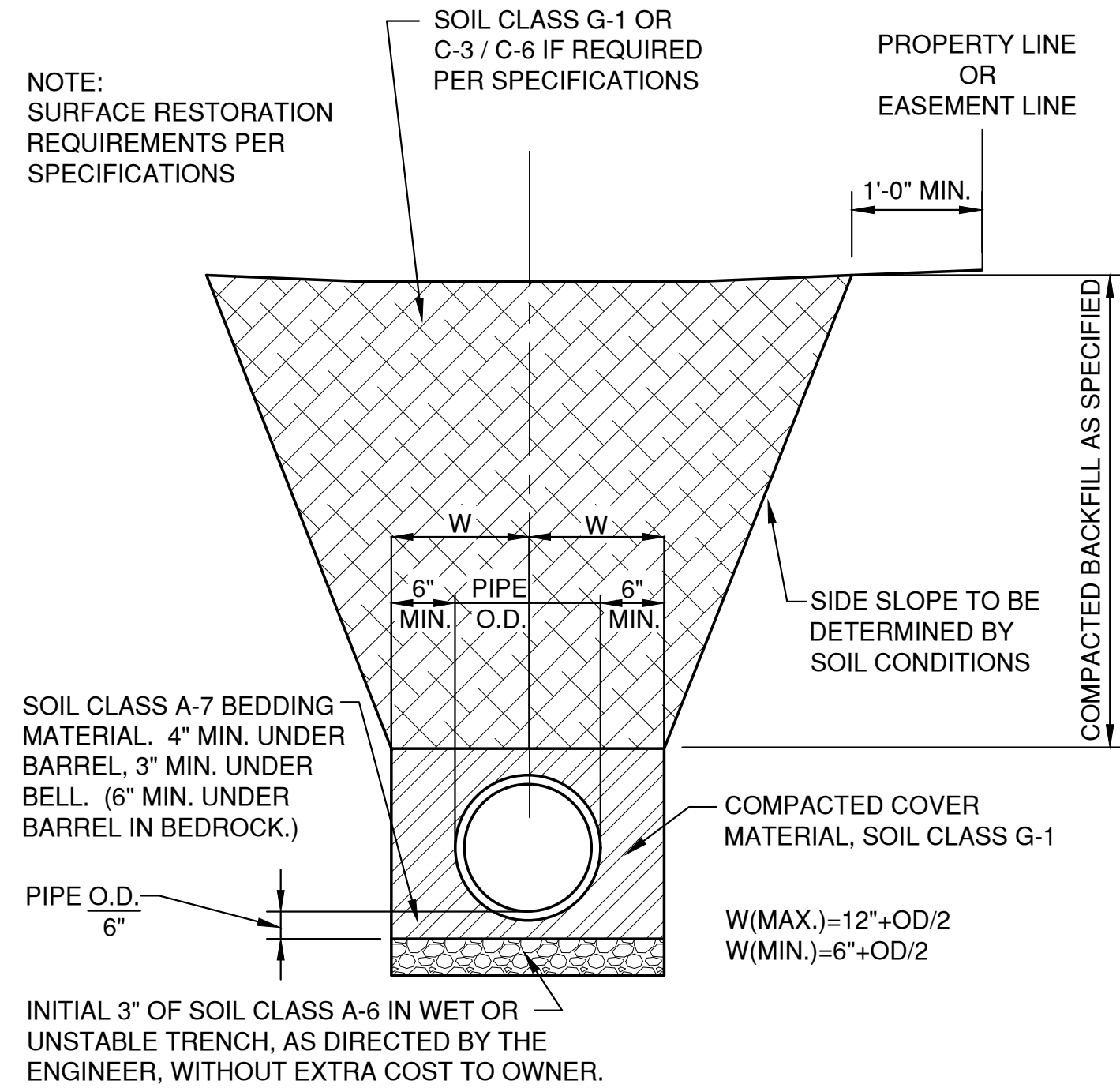
STANDARD HYDRANT SETTING CURB SECTION



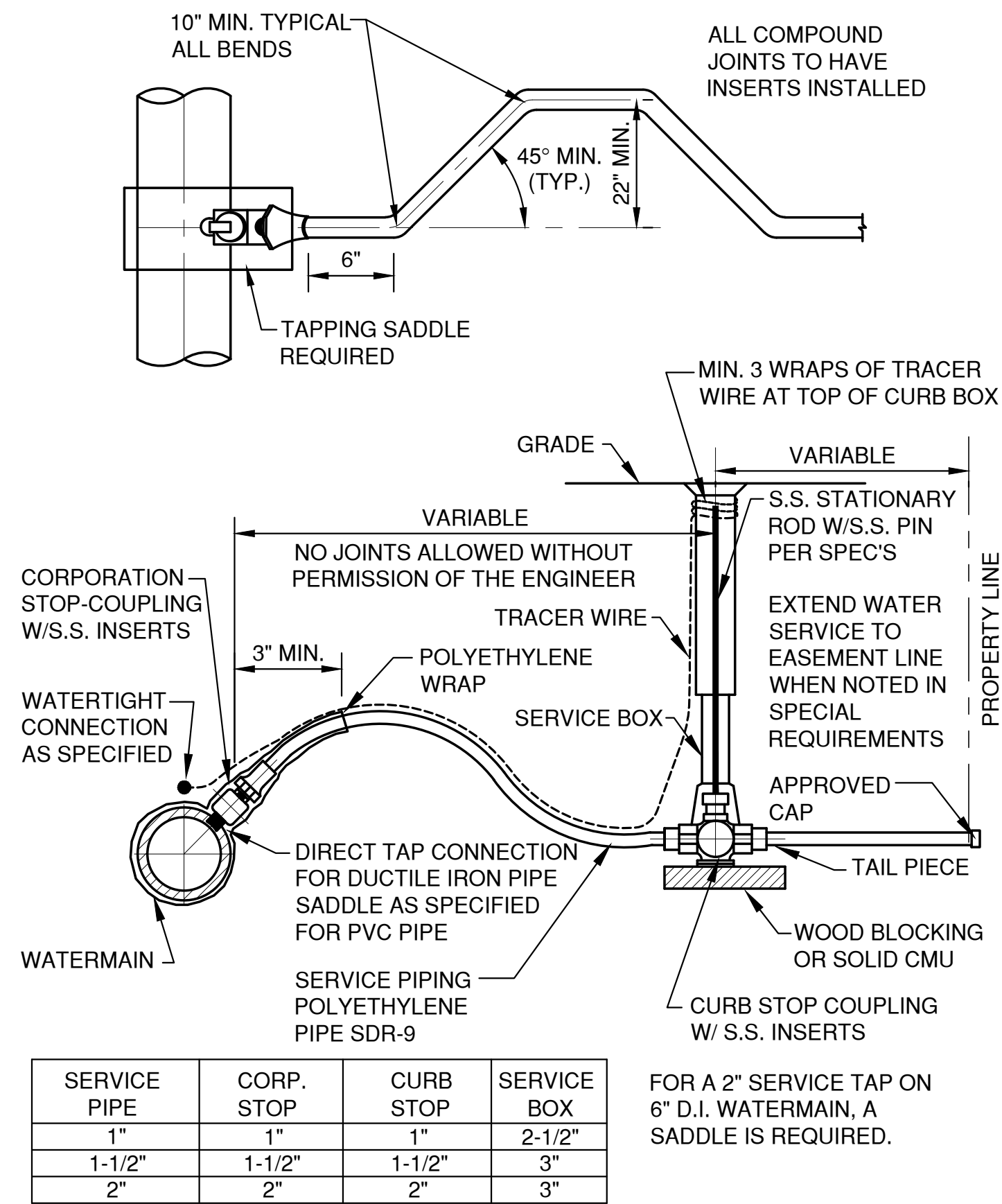
SIDE VIEW FRONT VIEW
VALVE BOX SETTING



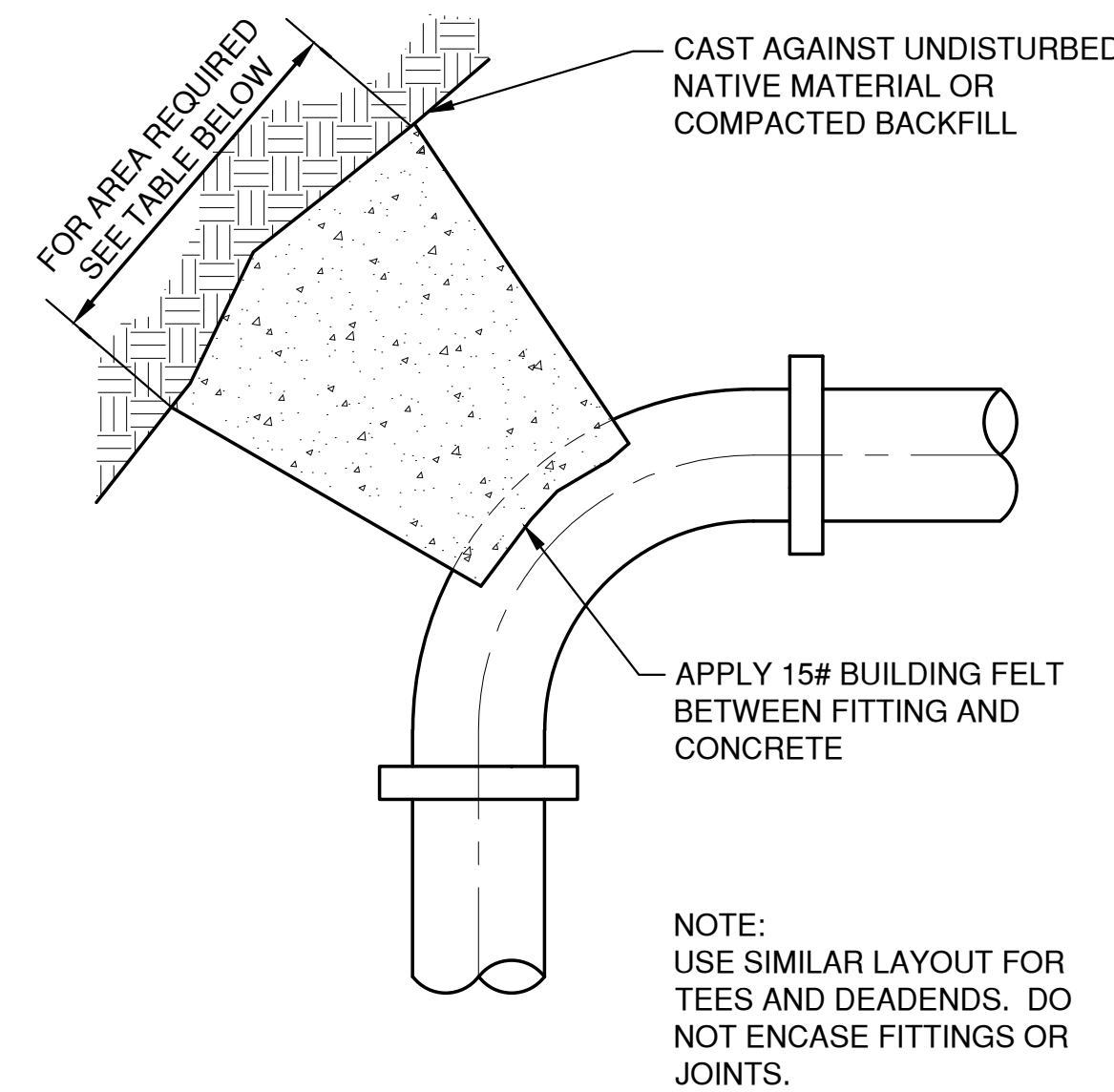
DETAIL FOR WATERMAIN OFFSET



CONCRETE PIPE BEDDING AND TRENCH DETAIL



TAP SERVICE PIPING (POLYETHYLENE)



THRUST BLOCK AREA REQUIREMENTS, S.F.					
DEGREE OF BEND	4" PIPE	6" PIPE	8" PIPE	10" PIPE	12" PIPE
5° TO 22.5°	1.0	1.0	2.0	3.0	4.0
23° TO 45°	1.0	2.0	4.0	6.0	8.0
46° TO 90°	2.0	4.0	7.0	11.0	15.0
TEE OR DEAD END	2.0	3.0	5.0	8.0	10.0

TYPICAL THRUST BLOCK

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
								JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE
04/20/24
FILE
4329161.DET
JOB NO.
4329161

REL Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.
17

CONCRETE PAVEMENT

ASPHALT PAVEMENT

CURB TIE-IN DETAIL

(PROPOSED TO EXISTING)

CURB TAPER DETAIL

- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE SHEDDING CURB AND GUTTER

- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE CURB AND GUTTER

TYPICAL SECTION

NOTE:
REFER TO SPECIFICATIONS
FOR REINFORCEMENTS.

TOOLED
CONTRACTION JOINT

EXPANSION JOINT N
Jo

WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT REQ'D	100' MAX.
5'	5'	NOT REQ'D.	100' MAX.
6'	6'	NOT REQ'D.	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

SIDEWALK DETAIL

PLAN VIEW

SIDE ELEVATION

REAR ELEVATION

NOTE: SLAB TO HAVE SONOTUBES PUT IN AT TIME OF FLATWORK POUR, 1' FROM EDGE OF CONCRETE SLAB TO CENTER OF HOLE

TRASH ENCLOSURE DETAIL

[illegible]

File: E:\A-200\A1209\A12091617.dwg (A1209161 EC.dwg)
Plot Date: Aug 08, 2024 2:22pm
LAYOUT: 1. INLET PROTECTION

INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

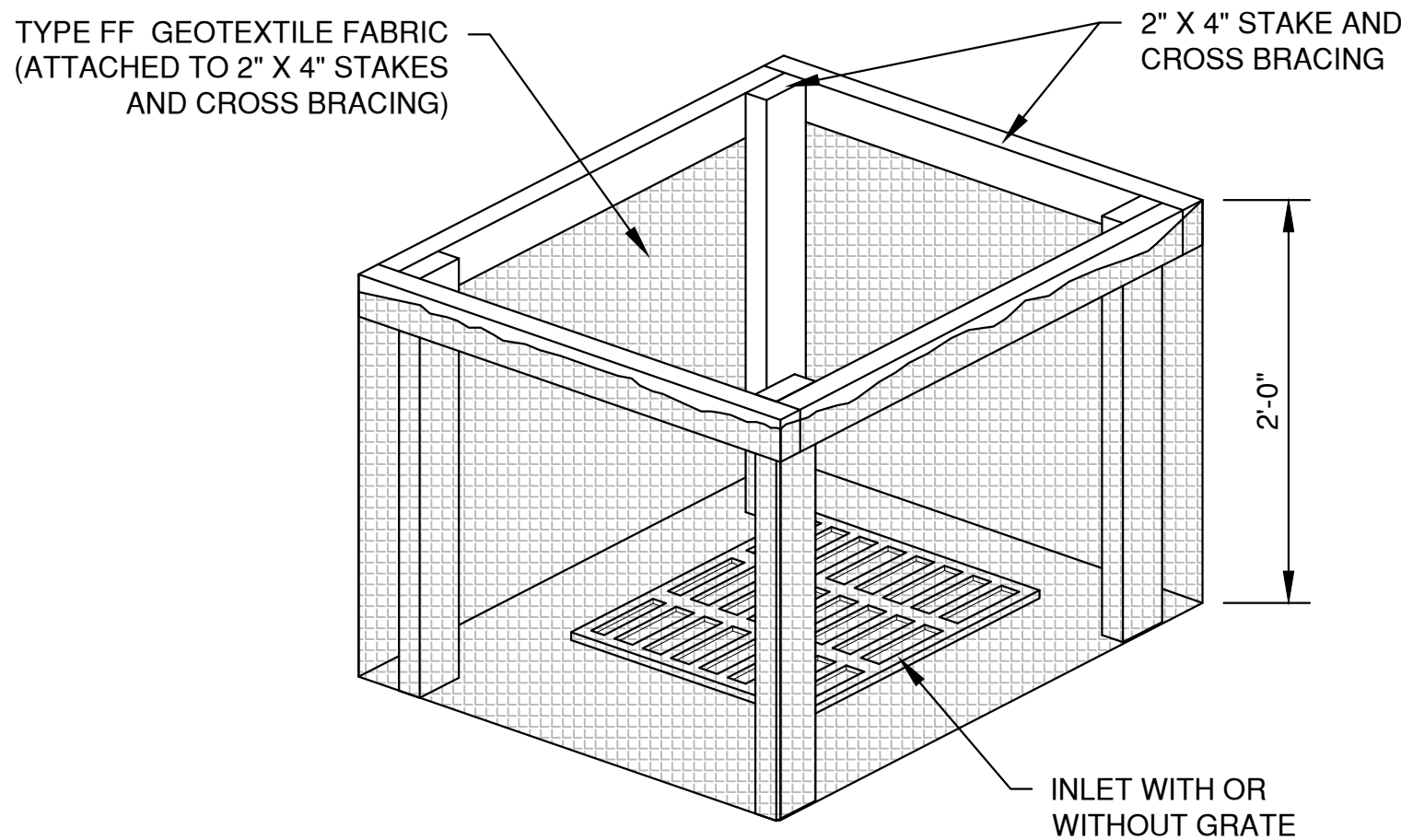
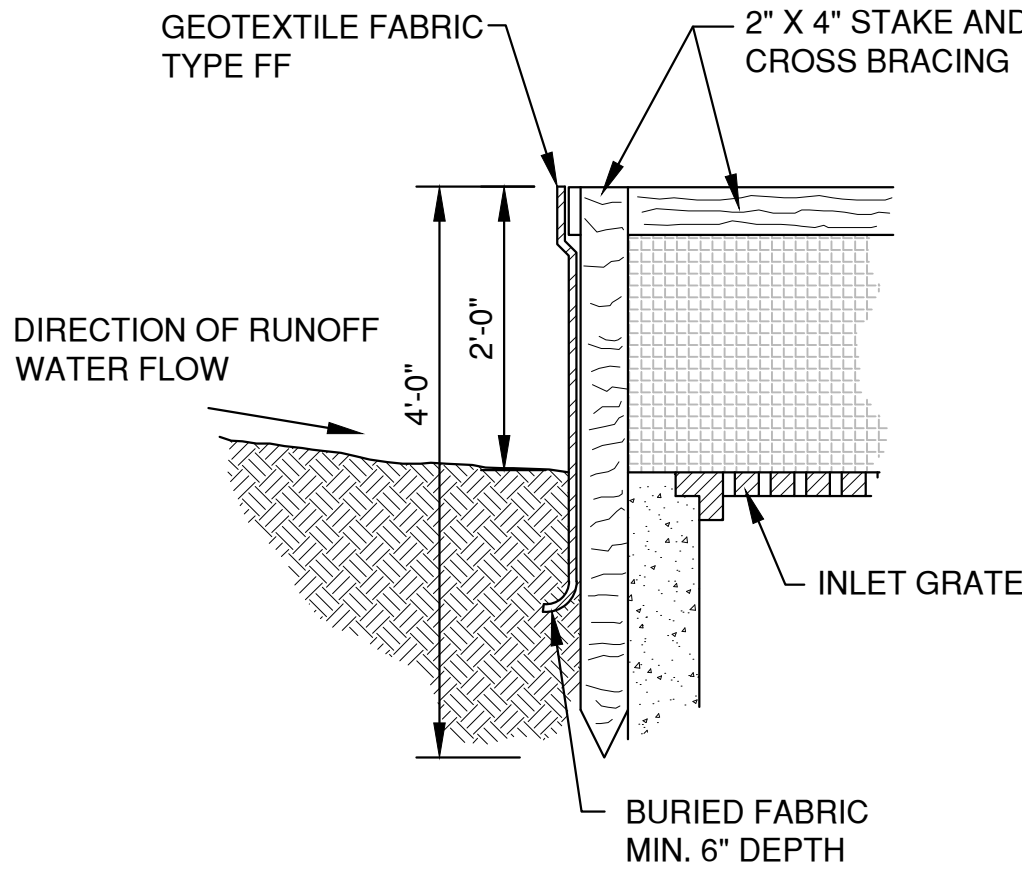
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

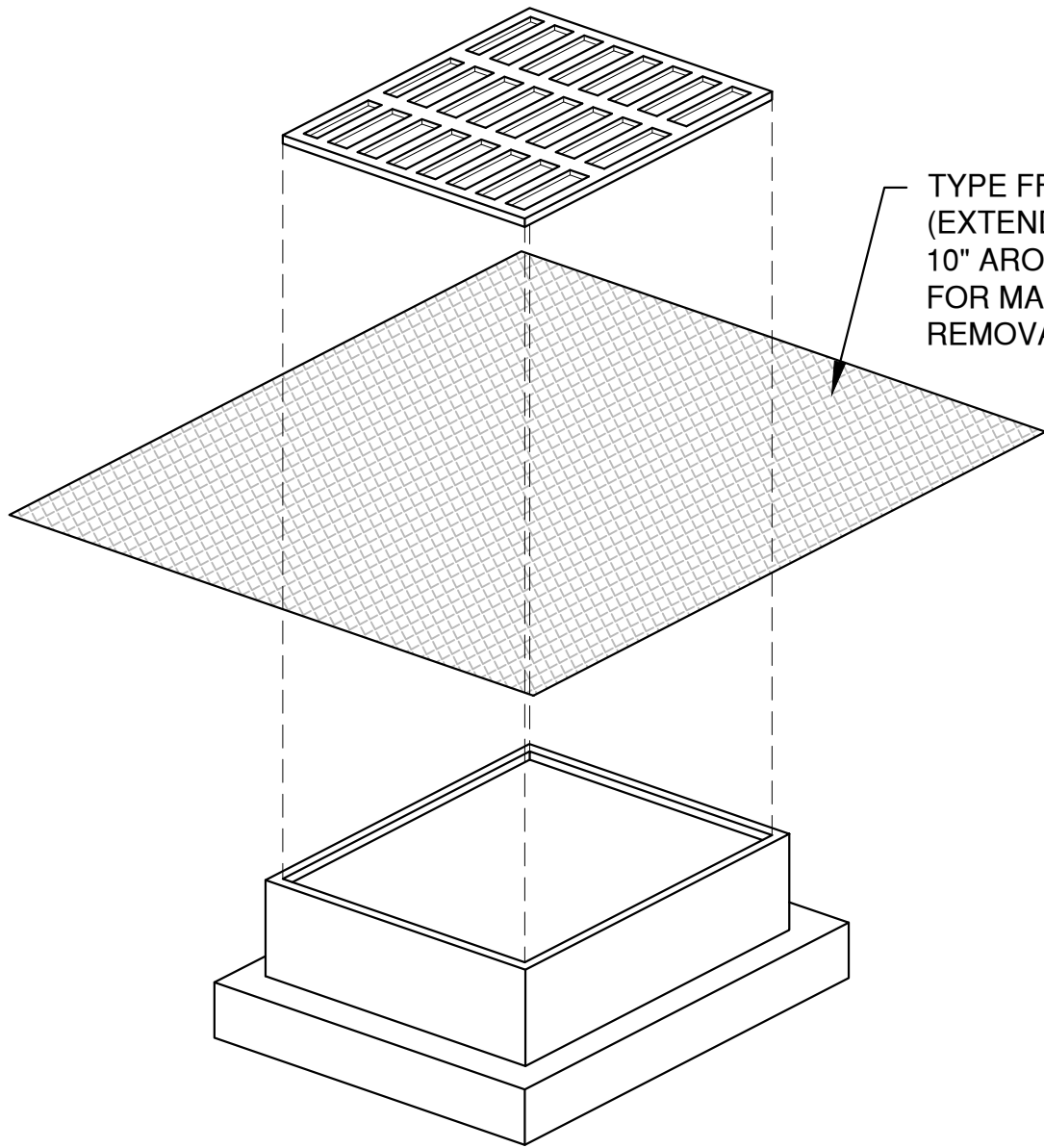
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

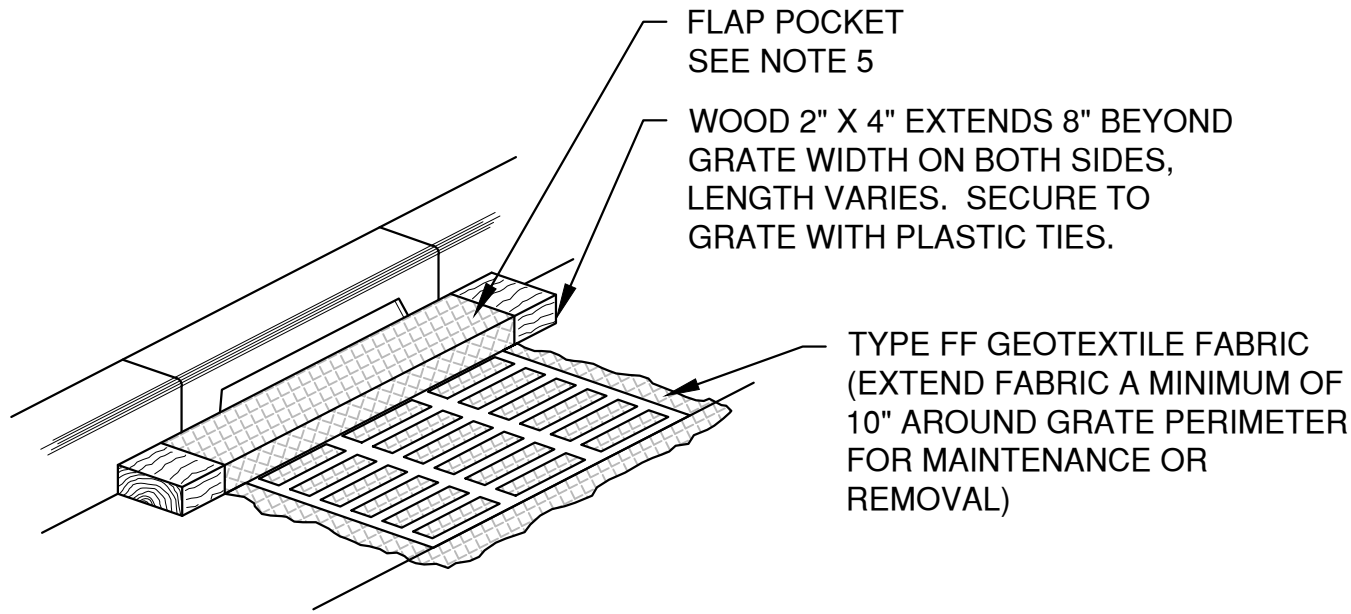
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



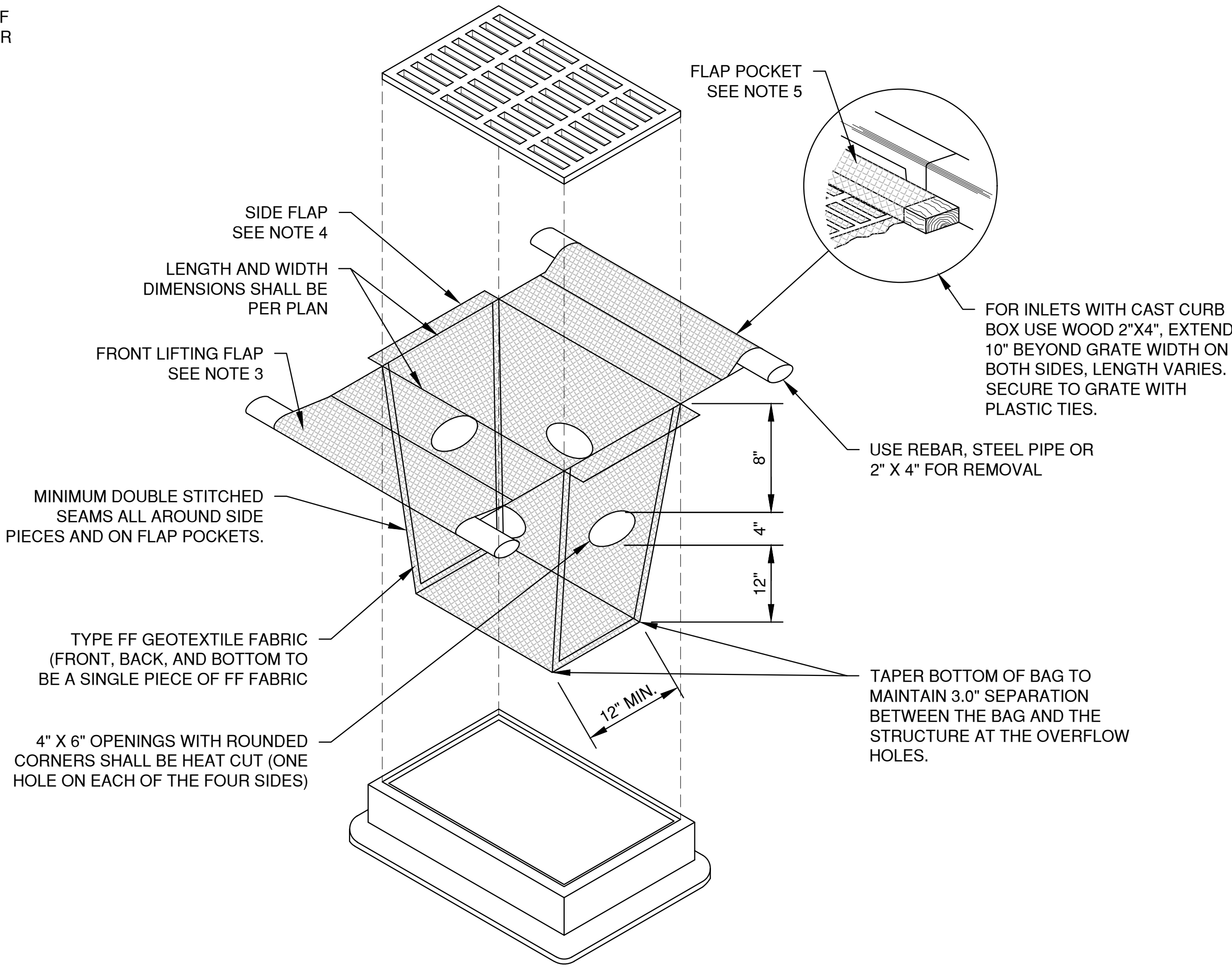
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)



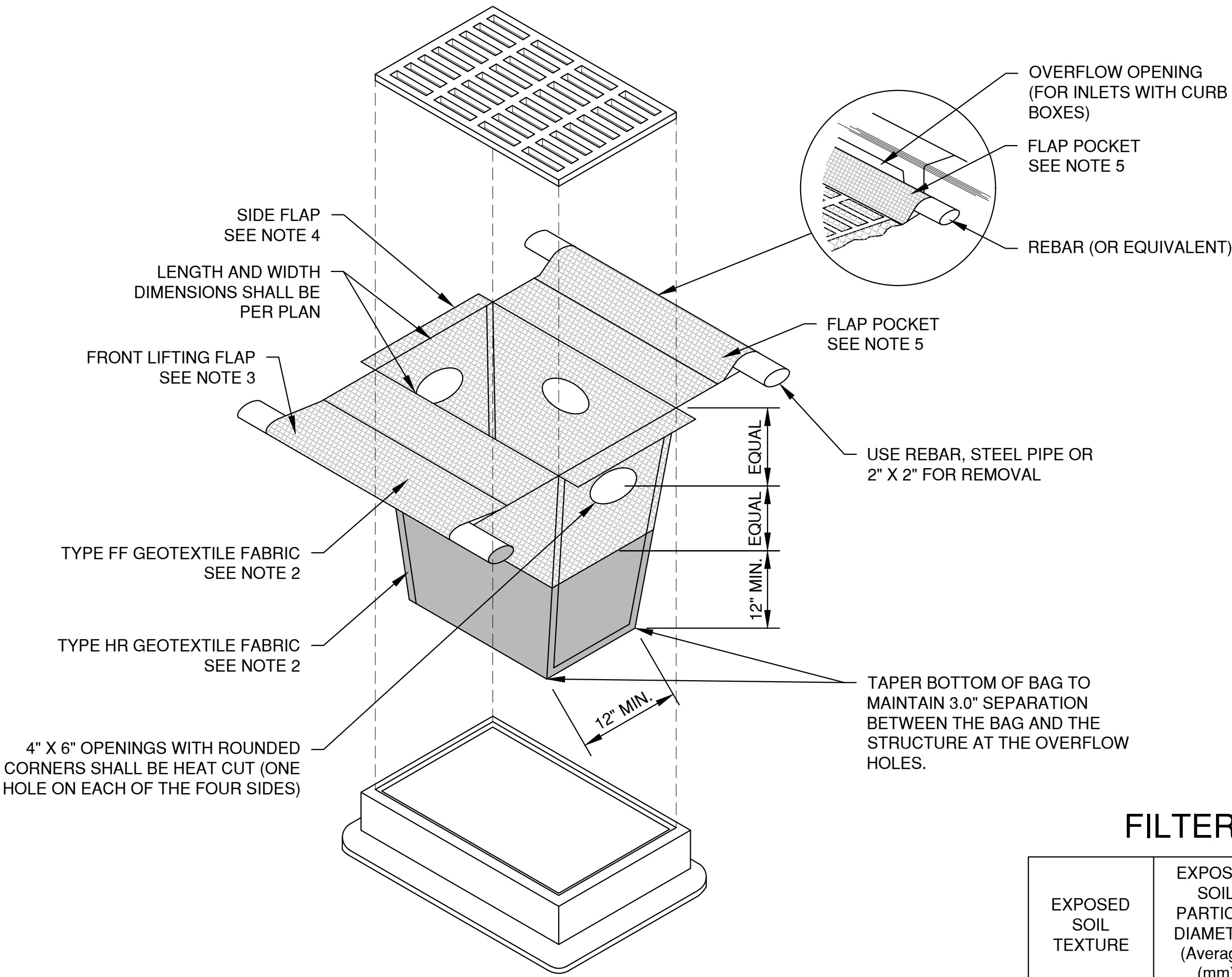
INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

NOTES:

- 1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
- 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
- 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
- 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
- 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

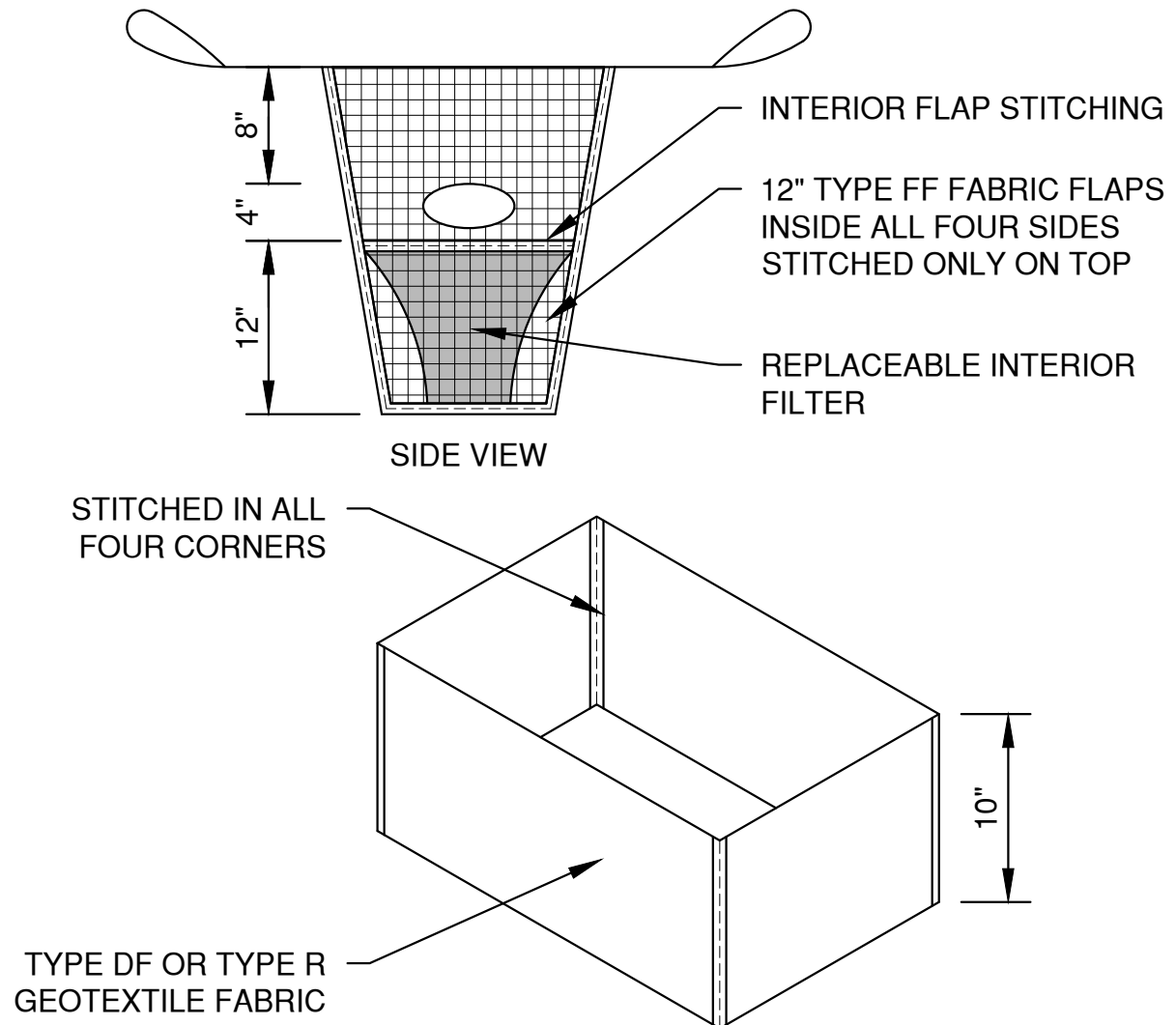
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



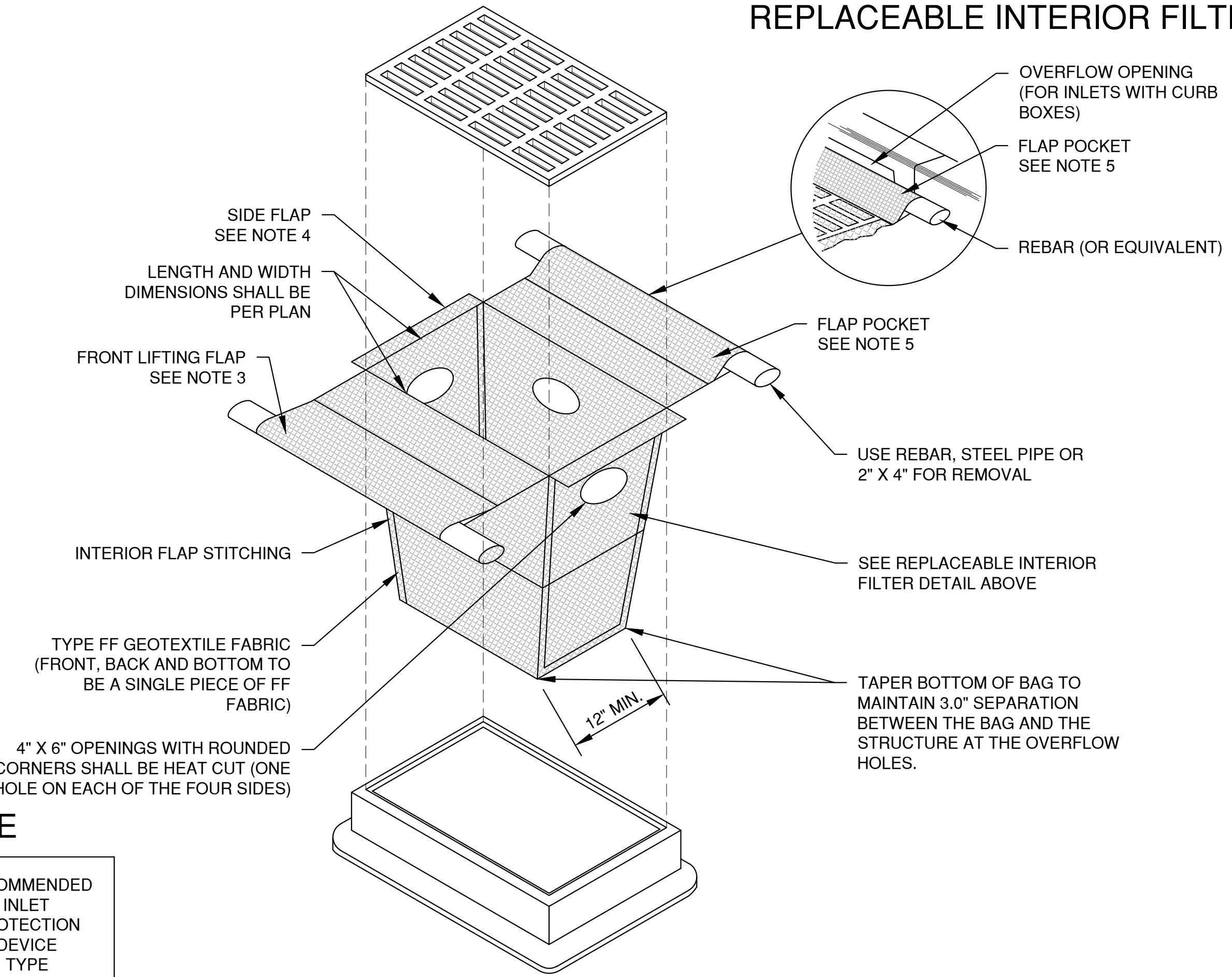
INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

NOTES:

- 1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
- 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
- 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
- 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
- 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



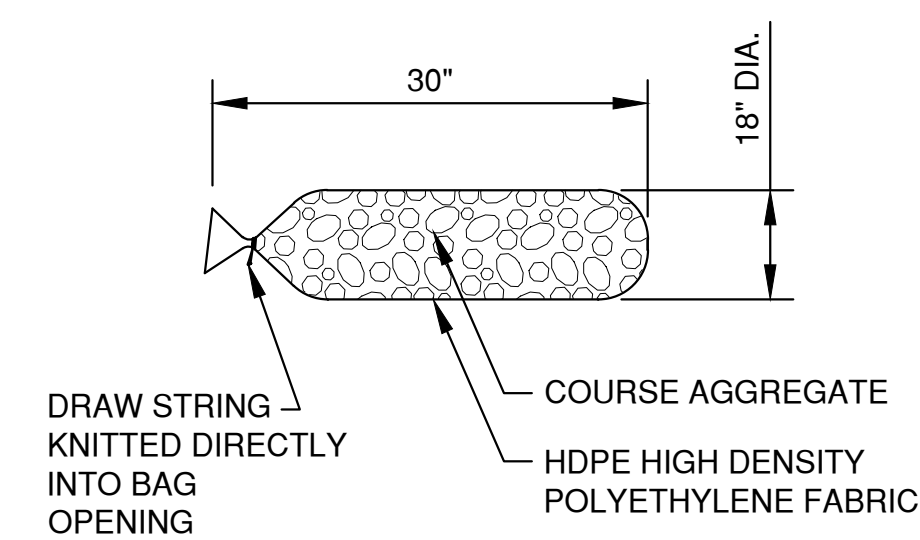
INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060



FILTER BAG DETAIL

NOTES:

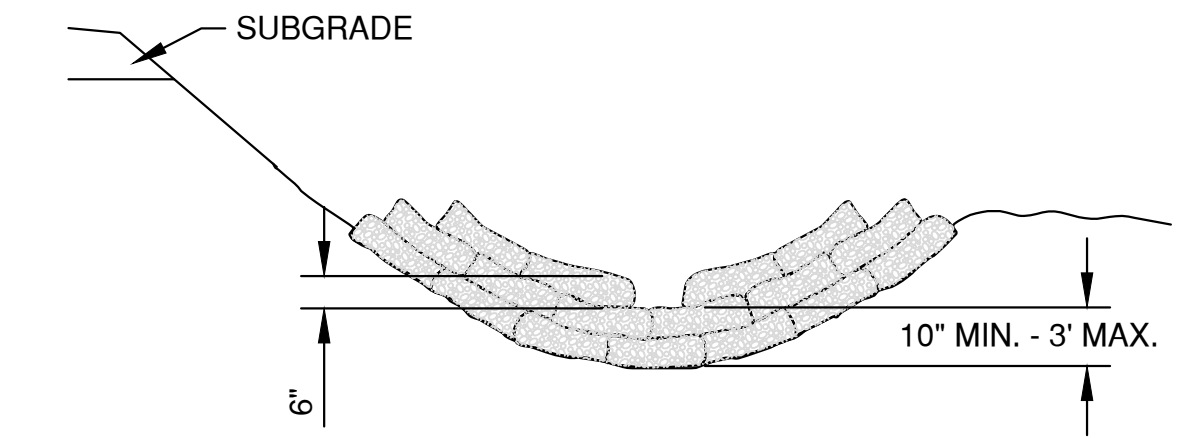
1. 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:

HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY
INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN
1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER
SEWING YARN FOR STRENGTH AND DURABILITY.

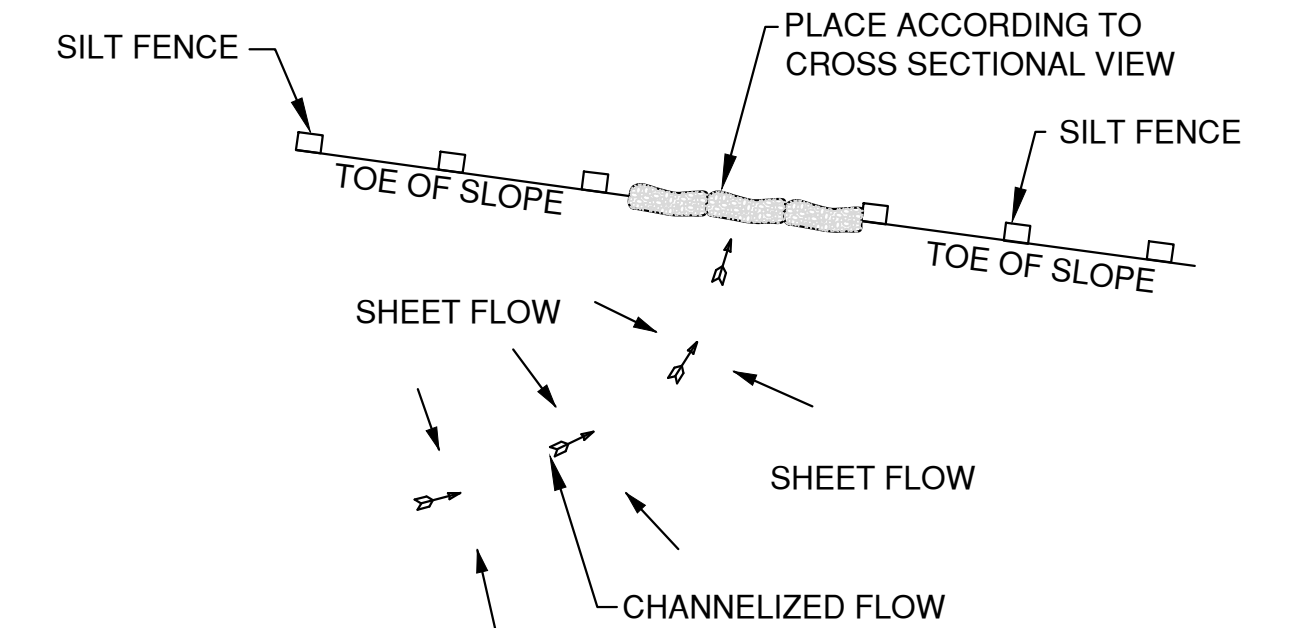
2. USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO. AASHTO No. 67 (1)
2 INCH (50 mm)	-
1 1/2 INCH (37.5mm)	-
1 INCH (25.0 mm)	100
3/4 INCH (19.0mm)	90-100
3/8 INCH (9.5mm)	20-55
No. 4 (4.75mm)	0-10
No. 8 (2.36mm)	0-5

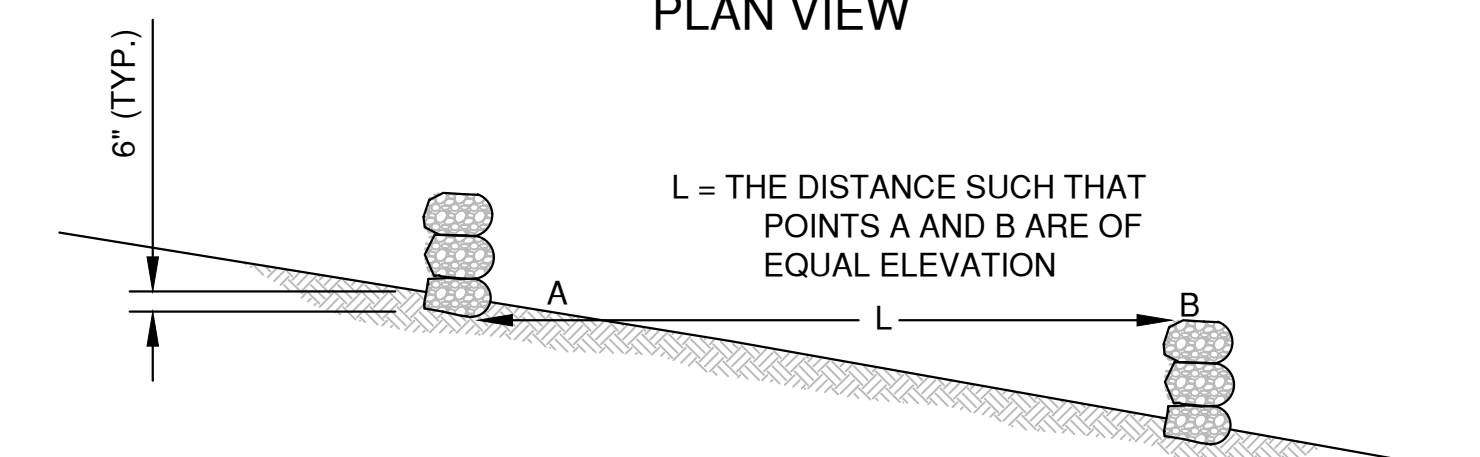
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW



PLAN VIEW



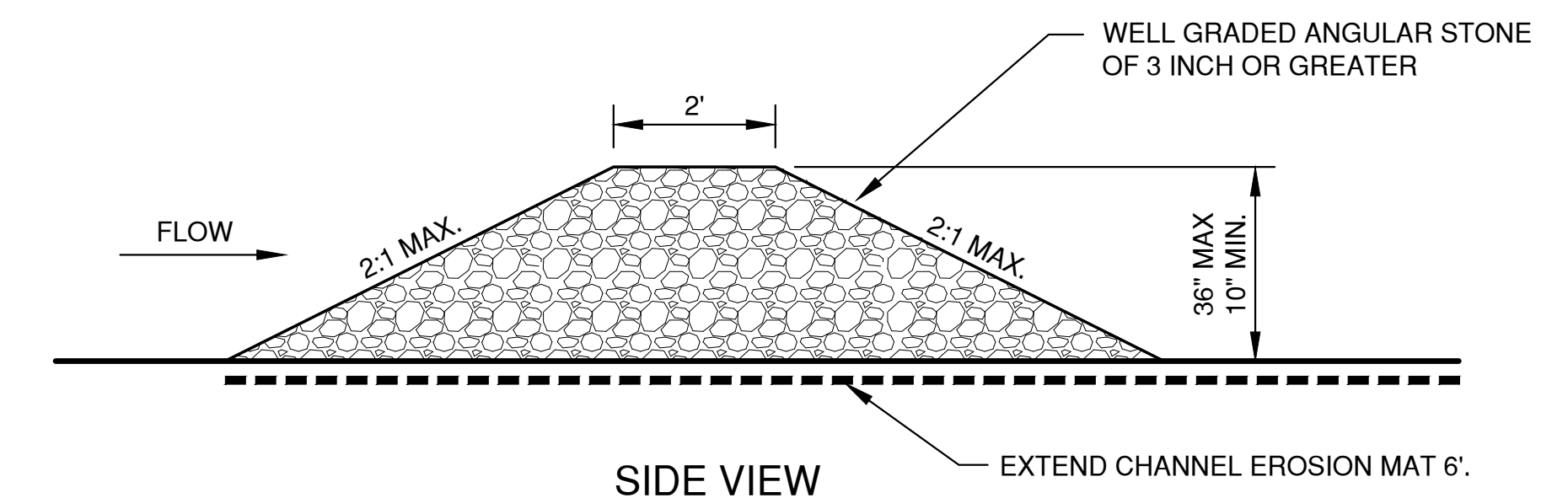
SIDE VIEW

DITCH CHECK DETAIL

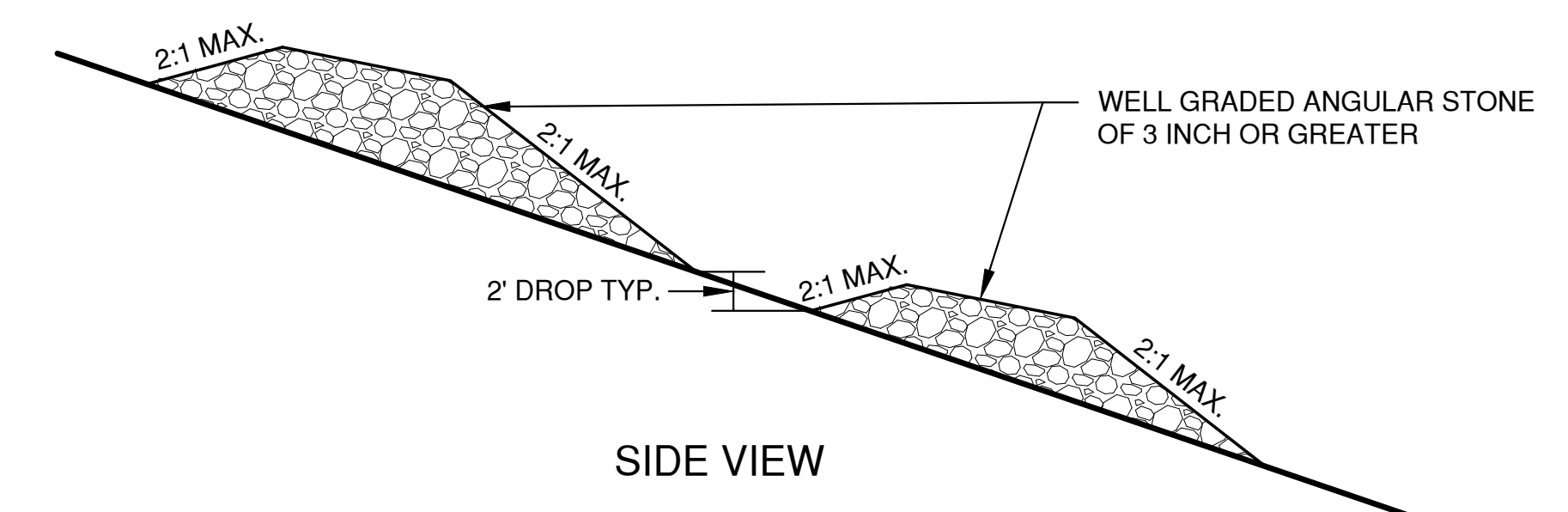
ROCK FILLED EROSION CONTROL BAGS

DITCH CHECK GENERAL NOTES:

1. DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
2. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
3. DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.




SIDE VIEW

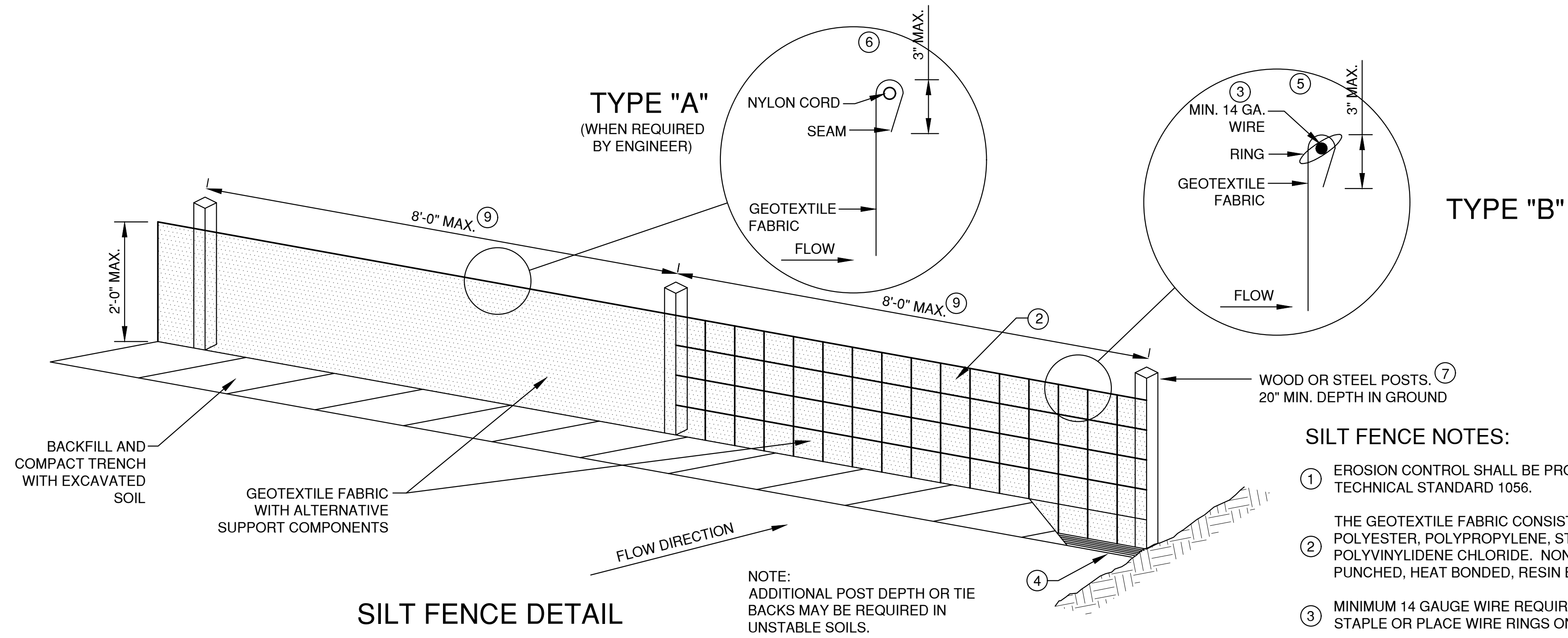


SIDE VIEW

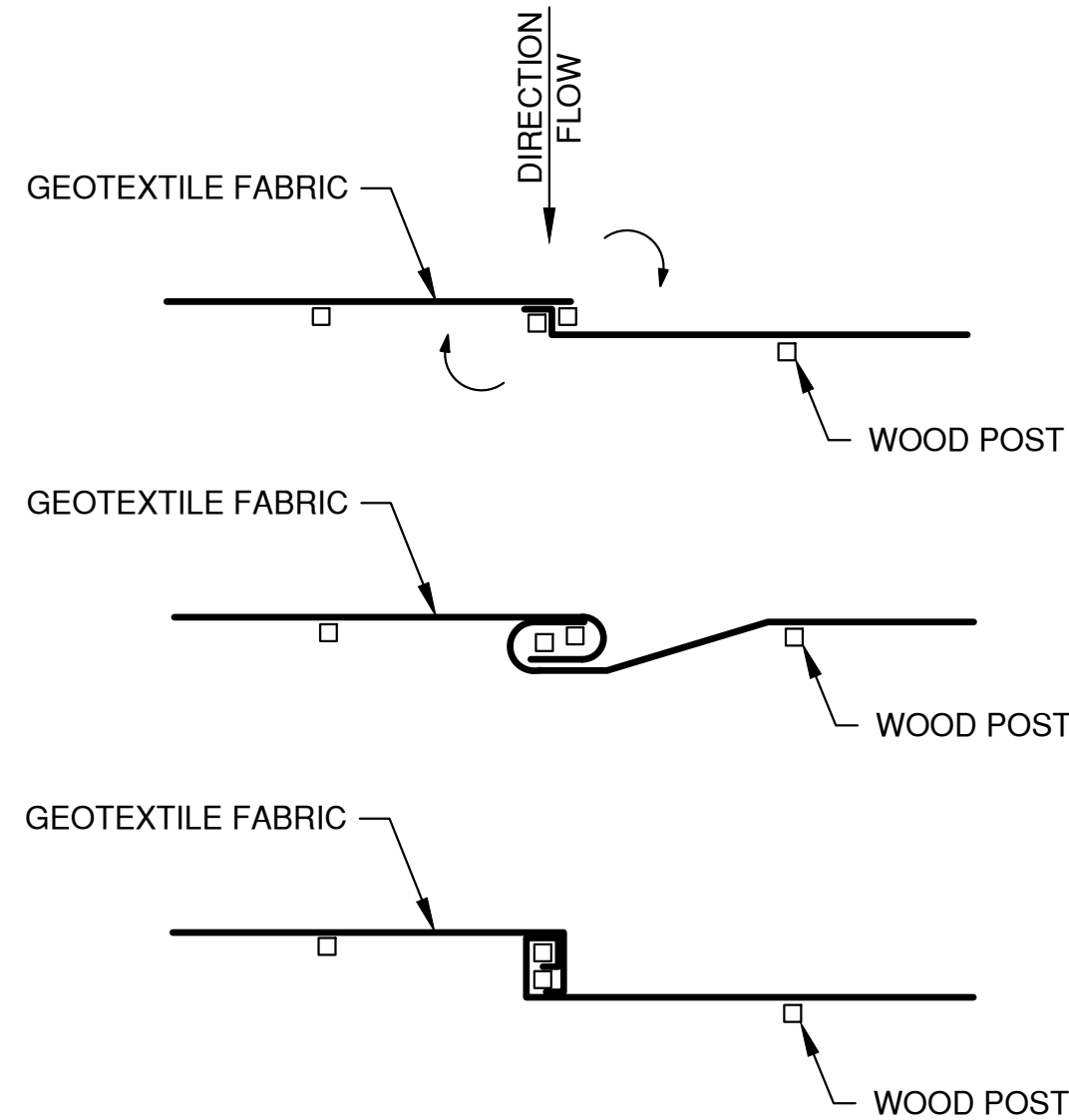
TEMPORARY DITCH CHECK USING STONE

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	EROSION CONTROL DITCH CHECK DETAILS	DATE	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO.
								CHECKED			04/2024		21
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								DESIGNED			4329161 EC		
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									43291				

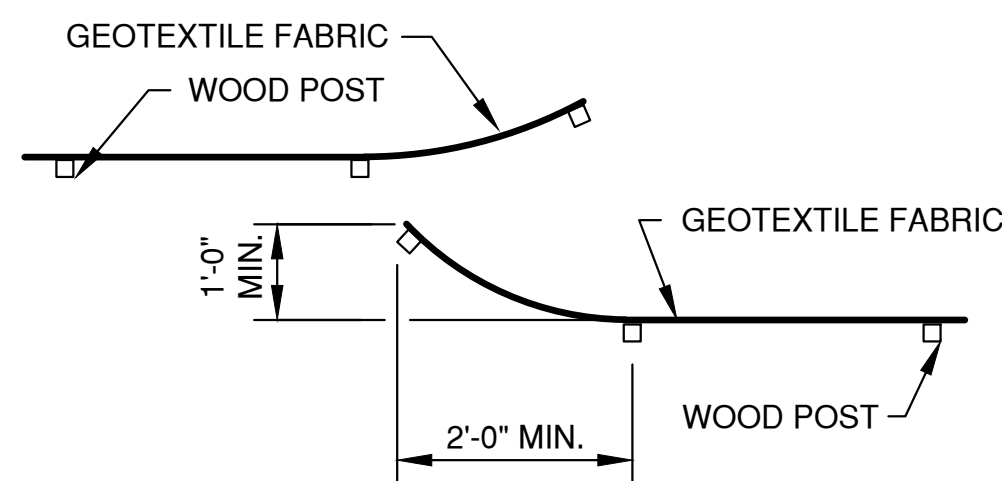
File: E:\A\200\A1200\A1200.dwg
Plot Date: Aug 08, 2024
4 SHEET FLOW
LAYOUTS



SILT FENCE DETAIL

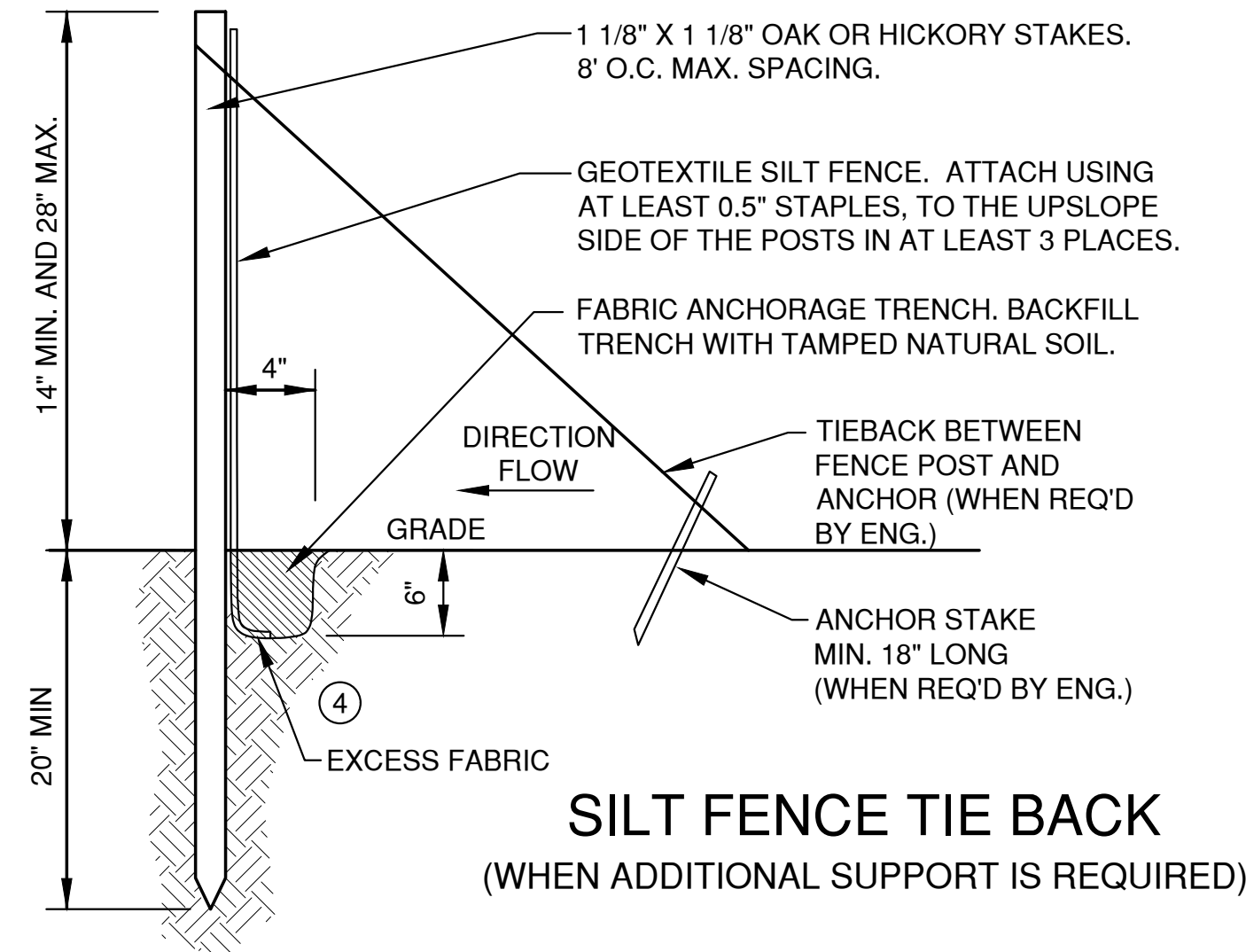


TWIST METHOD ⑧



HOOK METHOD ⑧

JOINING TWO LENGTHS OF SILT FENCE




SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

EROSION CONTROL SHEET FLOW NOTES:

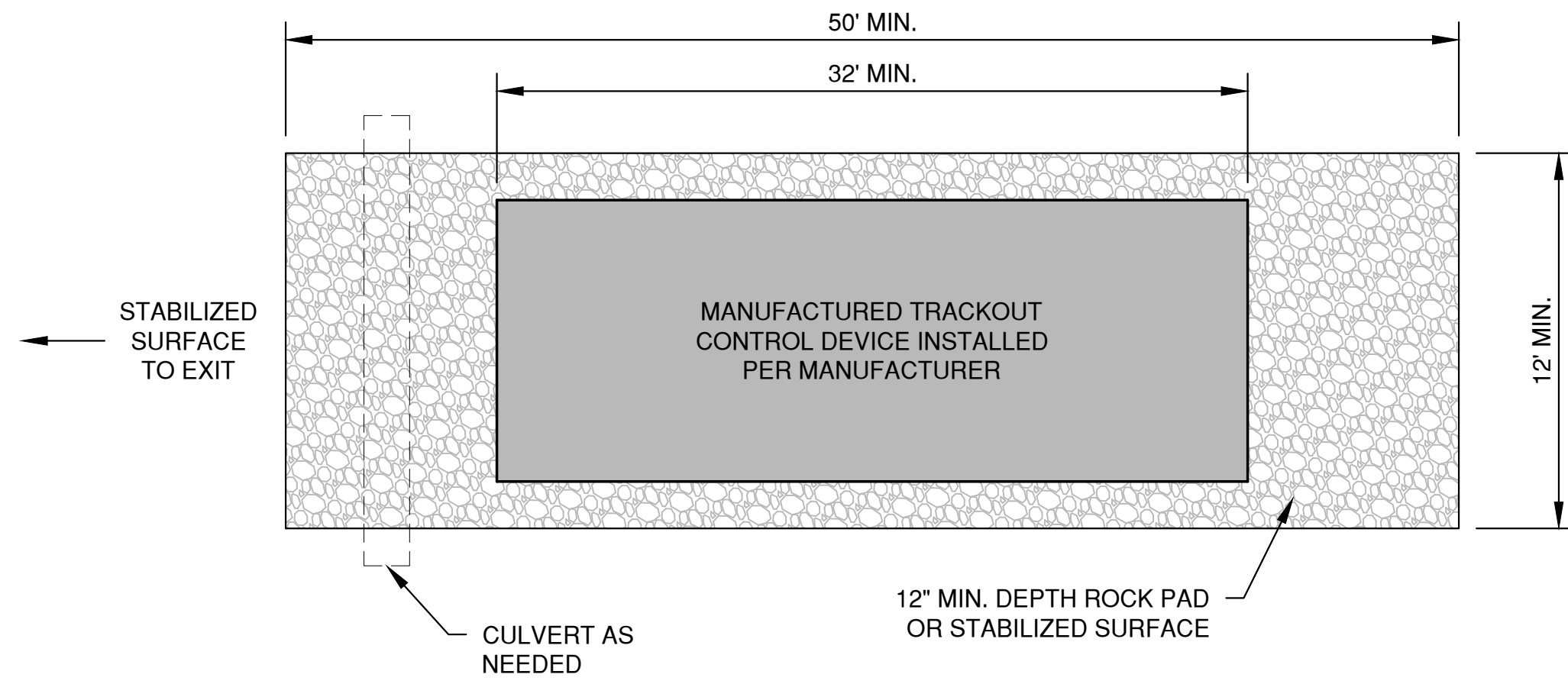
1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

SILT FENCE NOTES:

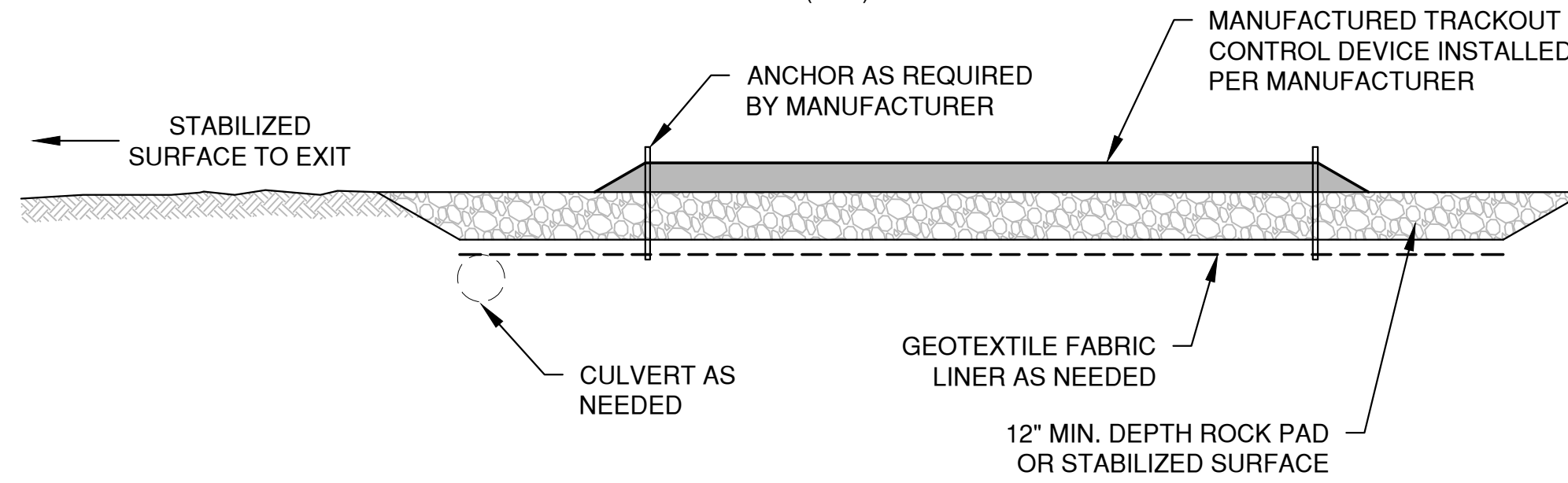
- ① EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- ② THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- ③ MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- ④ EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL
- ⑤ WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- ⑥ GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- ⑦ STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- ⑧ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- ⑨ THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	EROSION CONTROL SHEET FLOW DETAILS	DATE 04/2024	 Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO.
								CHECKED			FILE 4329161 EC		22
								DESIGNED JGS			JOB NO. 4329161		

* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW
(NTS)

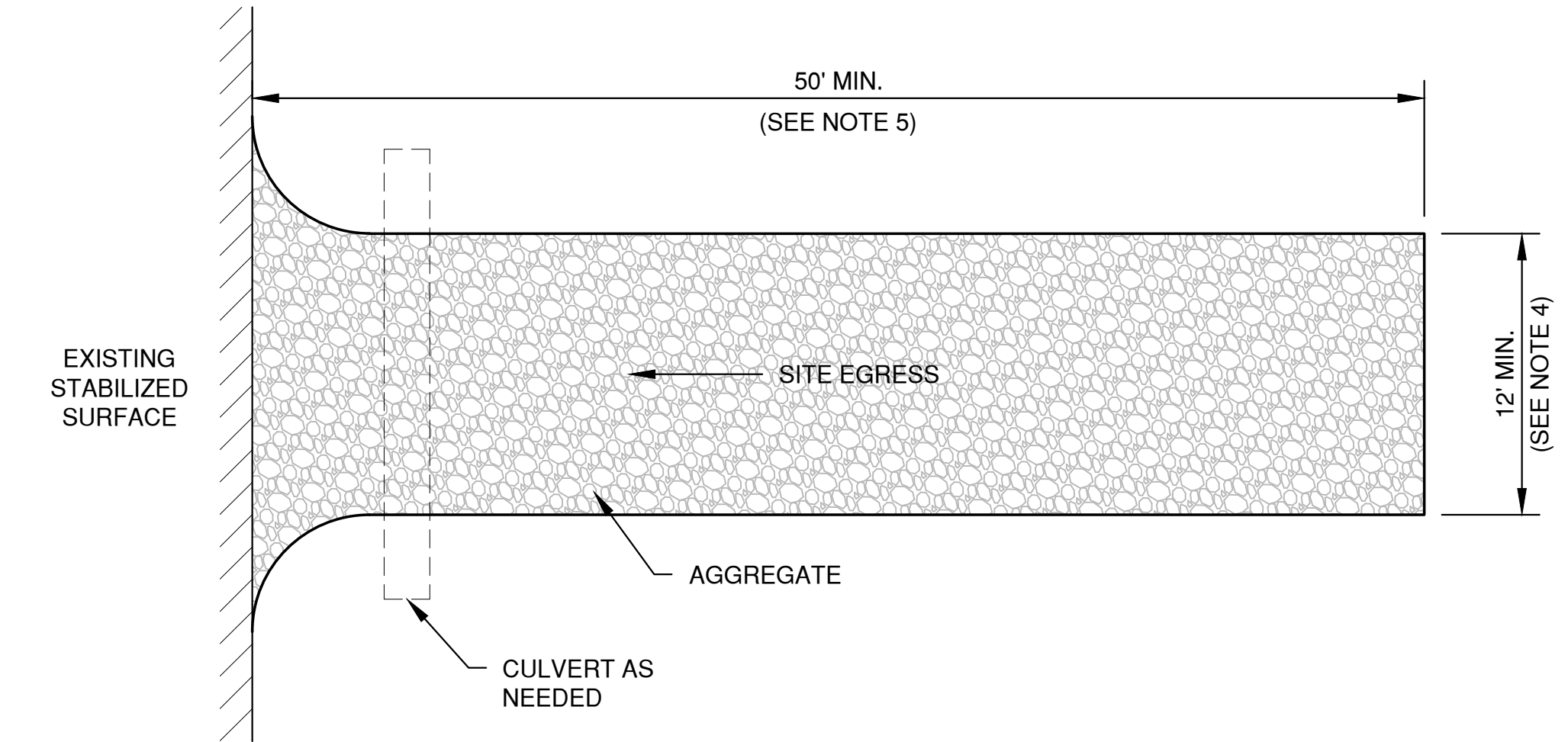


SECTION VIEW

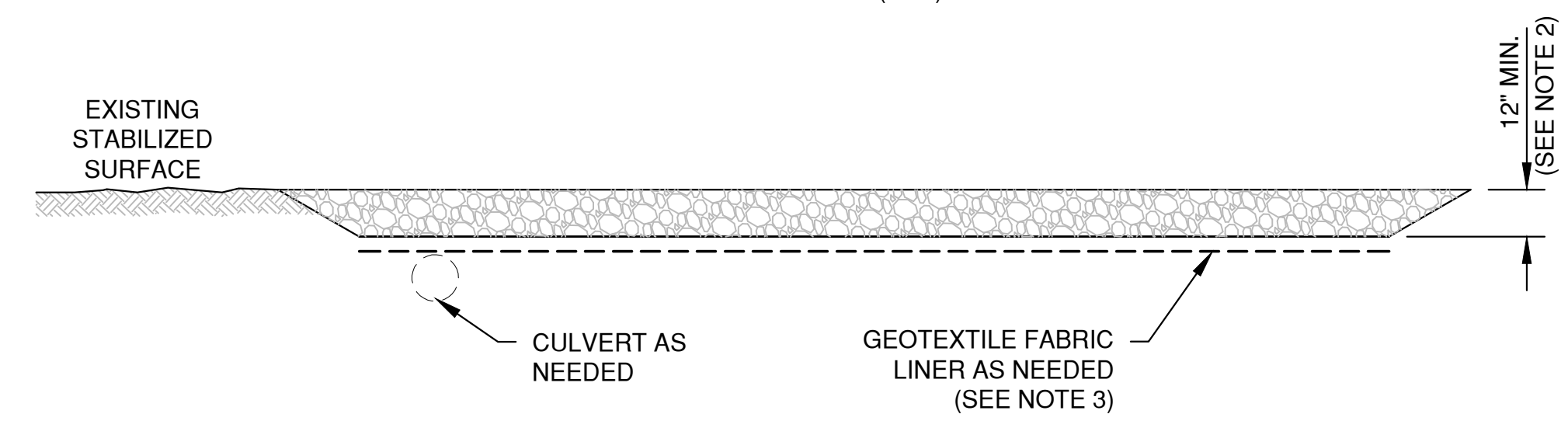
NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW
(NTS)



SECTION VIEW

NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

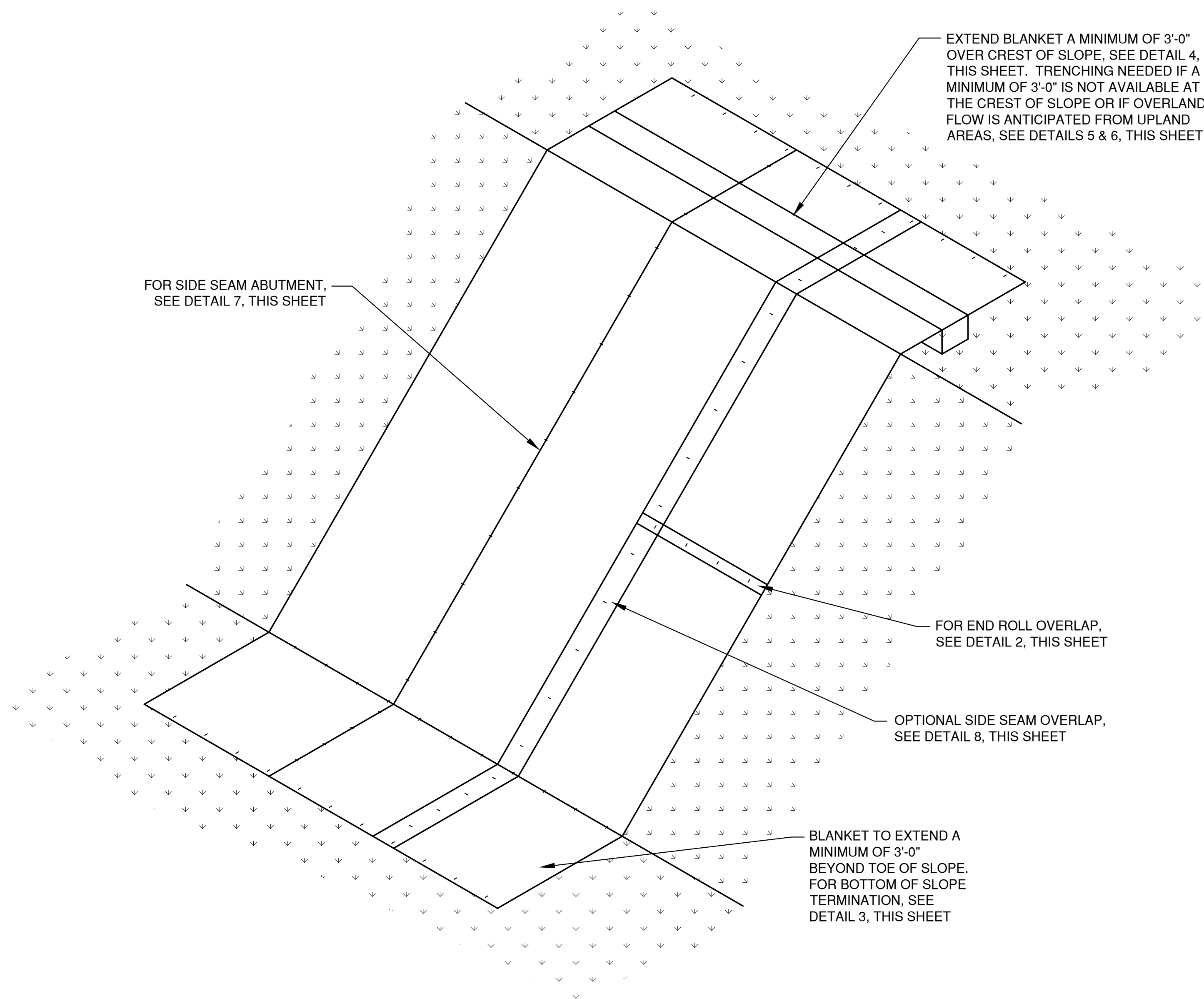
SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

[illegible]

File: E:\A\2024\4329161\4329161_EC.dwg
Plot Date: Aug 28, 2024 11:23am
LAYOUT: 8 - SLOPE ERM



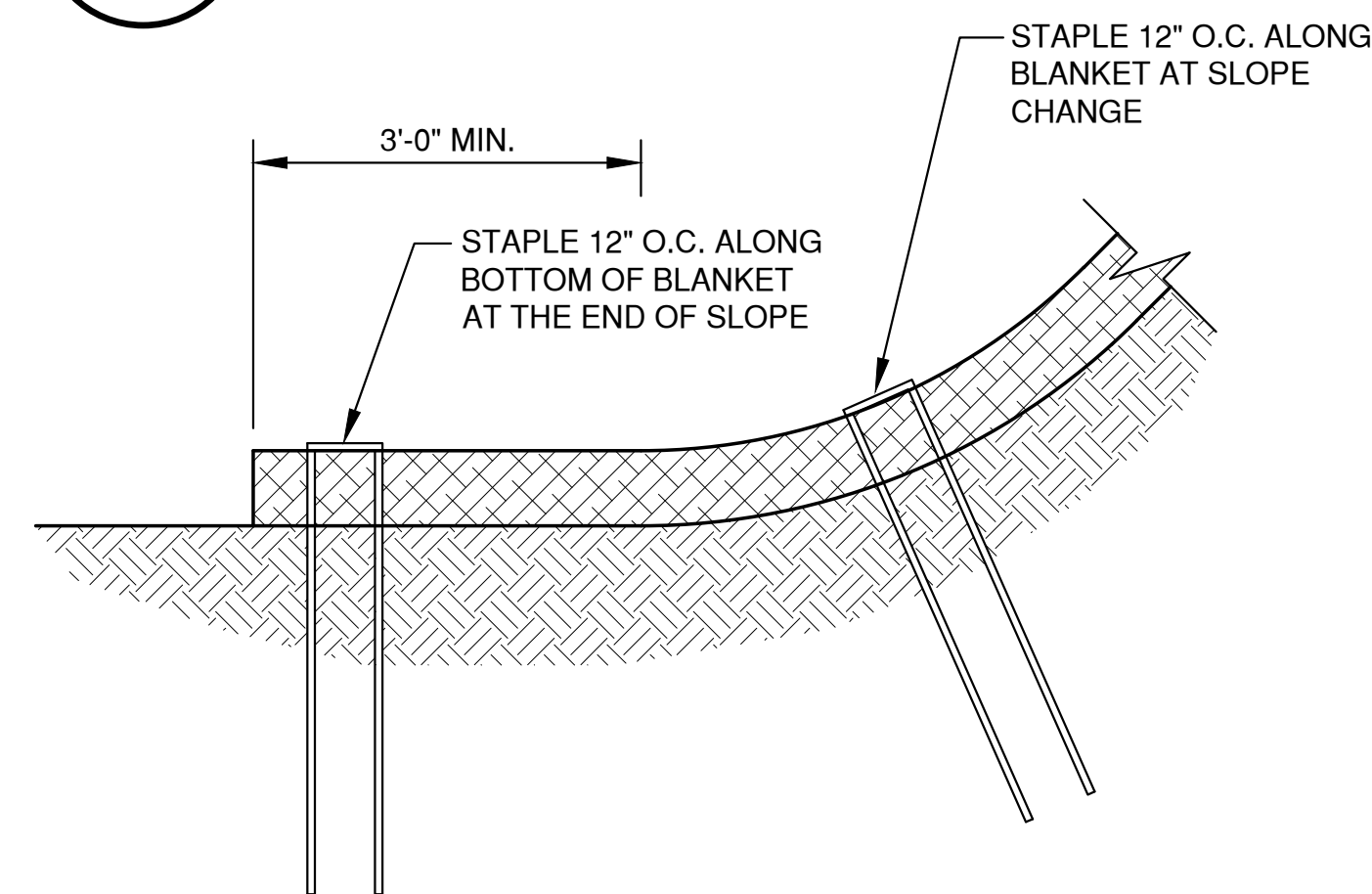
SLOPE DETAIL

1

END SEAM OF BLANKETS OVERLAP 2"-4". PLACE STAPLES, ONE ON EACH CORNER OF BLANKET, 12" O.C. ALONG BLANKET END THROUGH BOTH BLANKETS. UPSLOPE BLANKET LAPS OVER DOWNSLOPE BLANKETS IN A SHINGLE AFFECT.

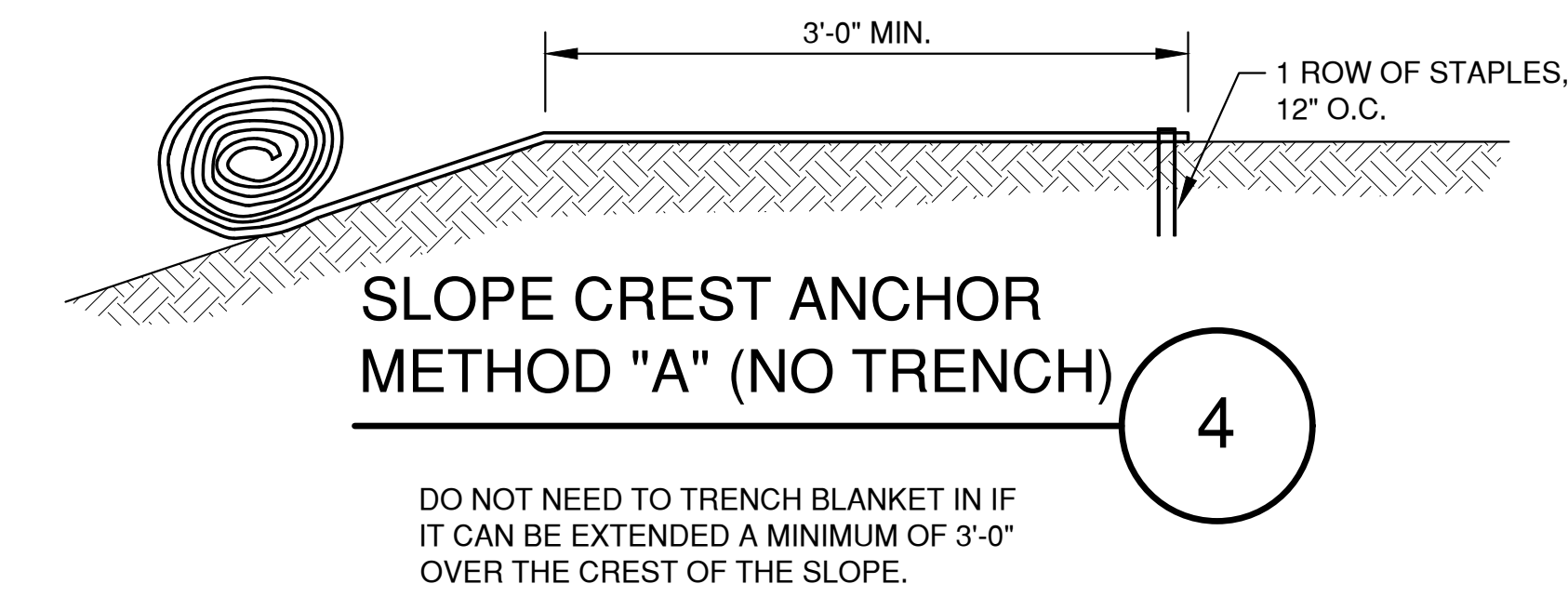
END ROLL OVERLAP

2



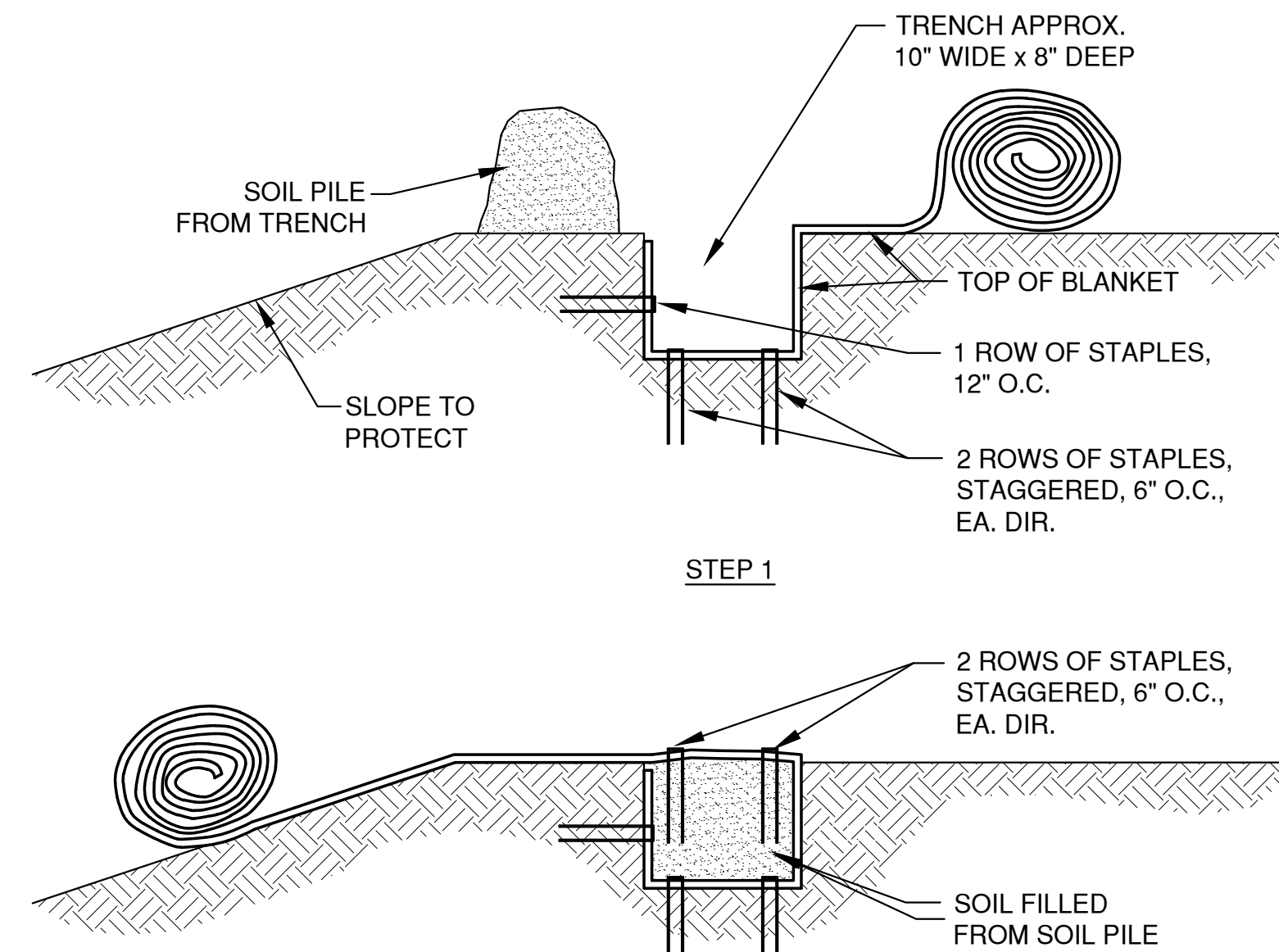
BOTTOM OF SLOPE TERMINATION

3



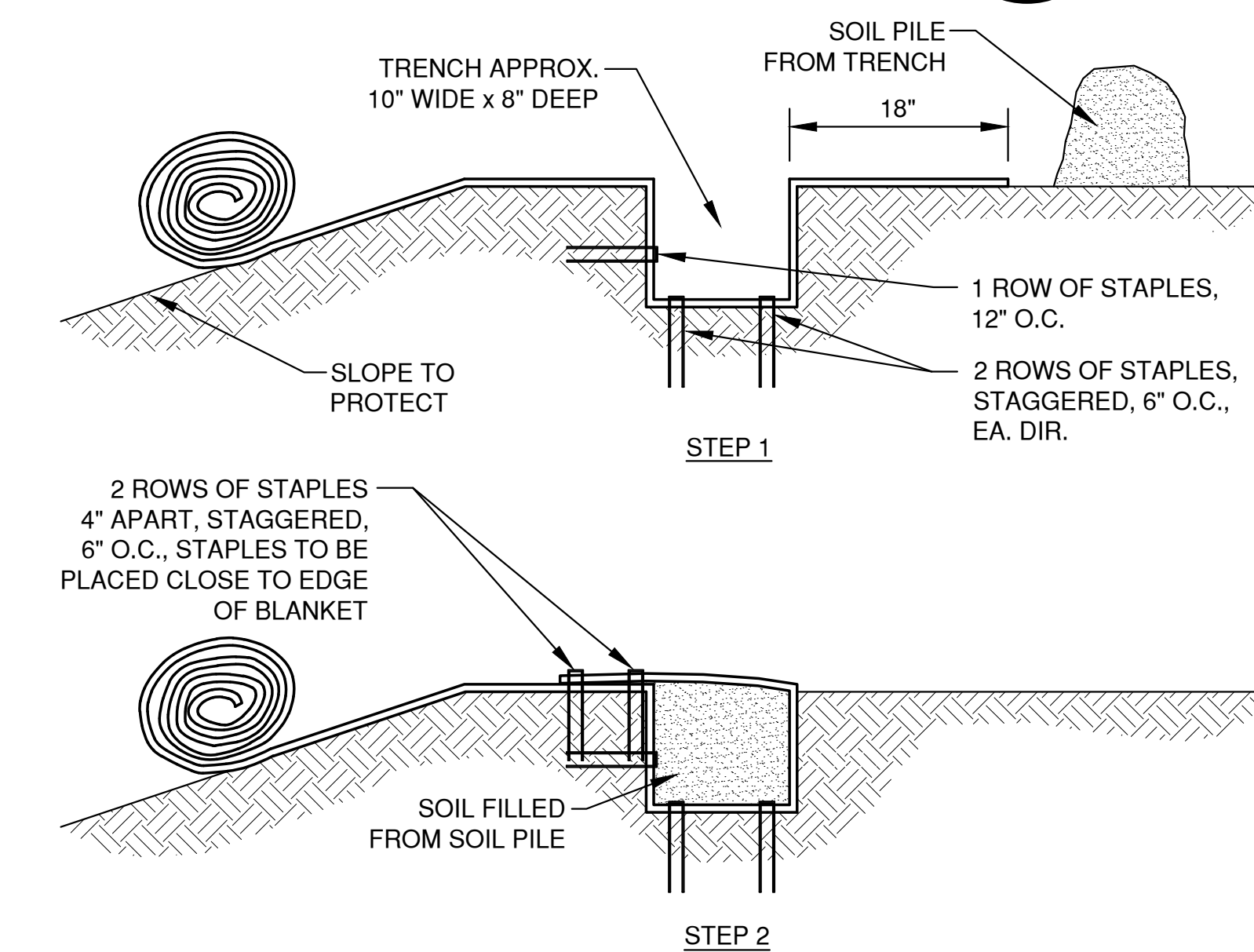
SLOPE CREST ANCHOR METHOD "A" (NO TRENCH)

4



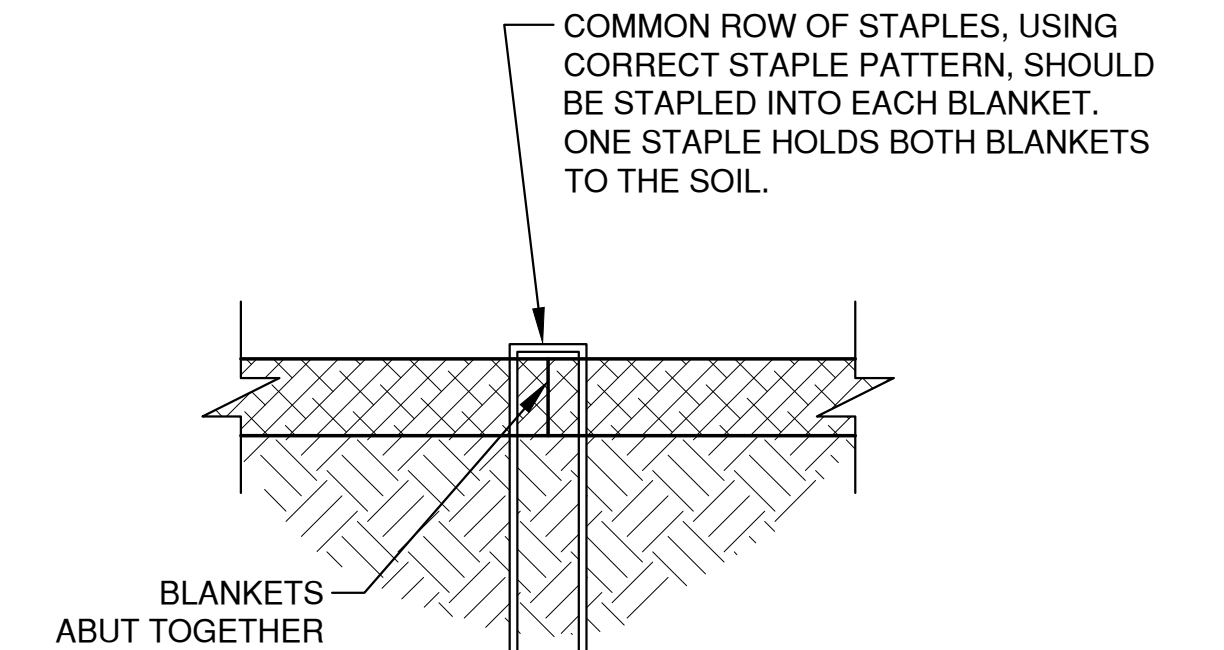
SLOPE TRENCHING METHOD "B"

5



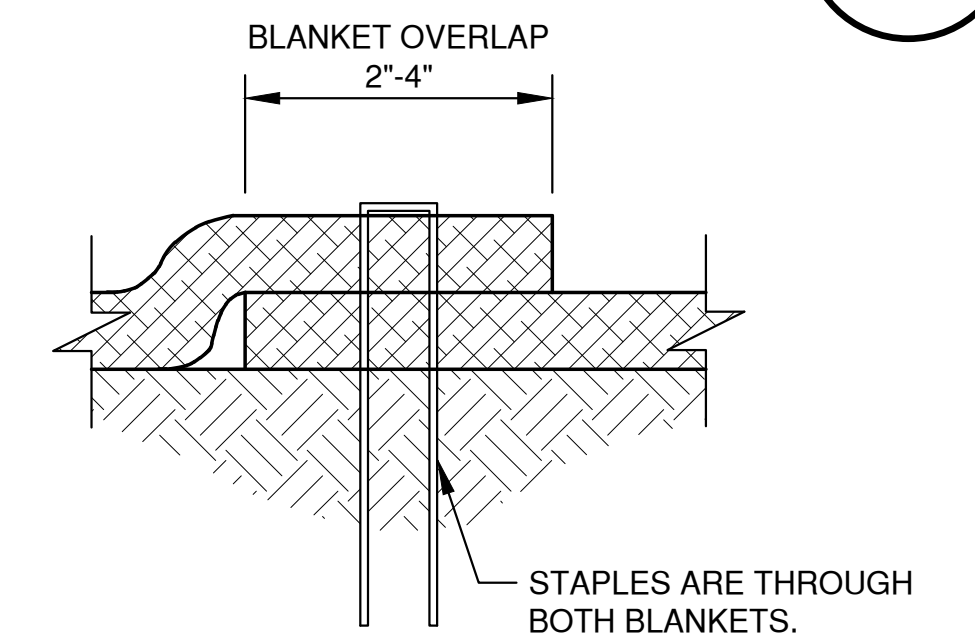
SLOPE TRENCHING METHOD "C"

6



SIDE SEAM ABUT STAPLE DETAIL

7



SIDE SEAM OVERLAP STAPLE DETAIL

8

NOTES:
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP
								CHECKED
								DESIGNED JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

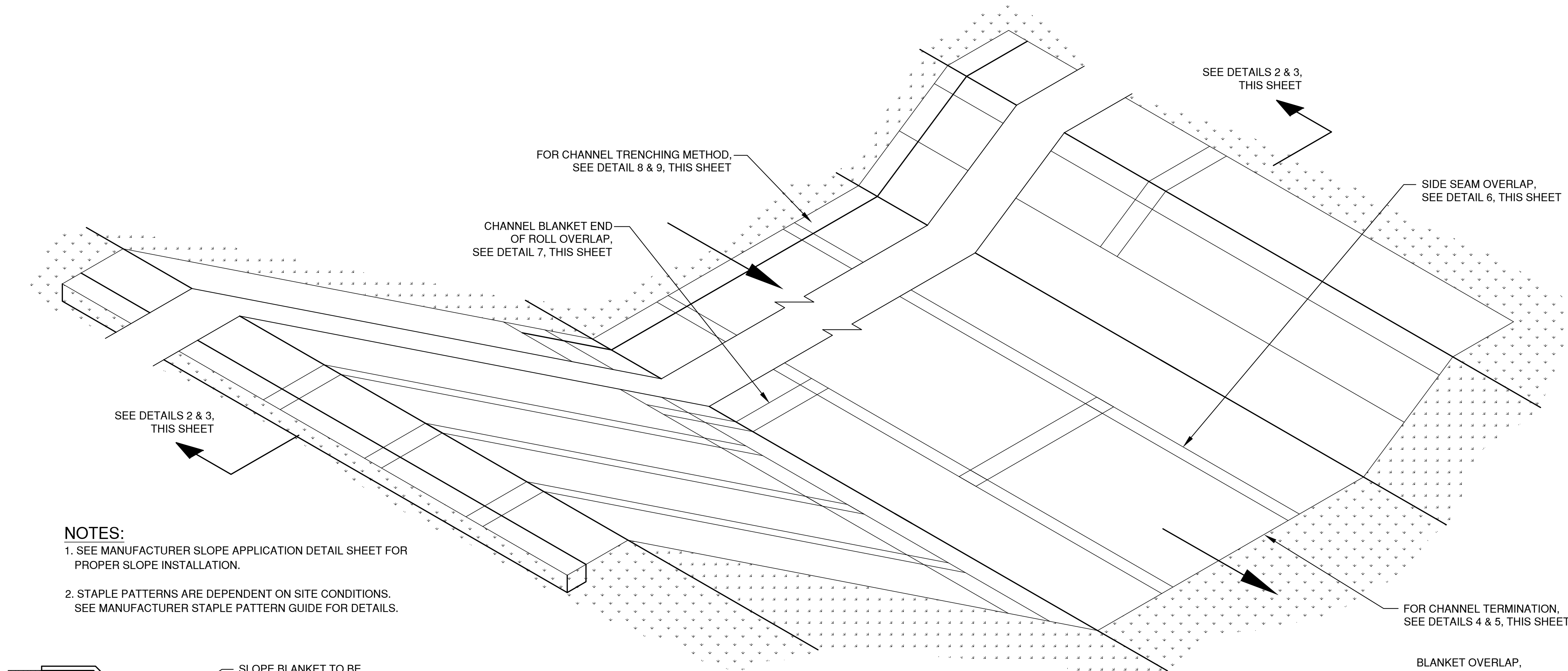
EROSION CONTROL
EROSION MAT
SLOPE APPLICATION DETAILS

DATE 04/2024
FILE 4329161_EC
JOB NO. 4329161

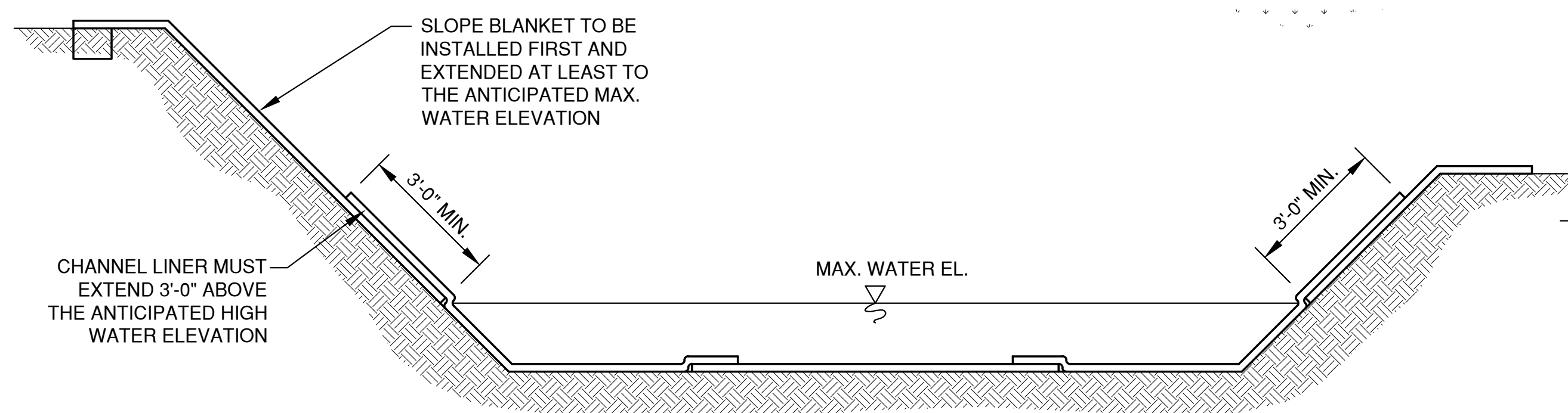
REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com

SHEET NO.
24

File: E:\A\2024\A329161\A329161.dwg
Plot Date: Aug 28, 2024 11:23:00am
LAYOUT: 7 CHANNEL DETAIL

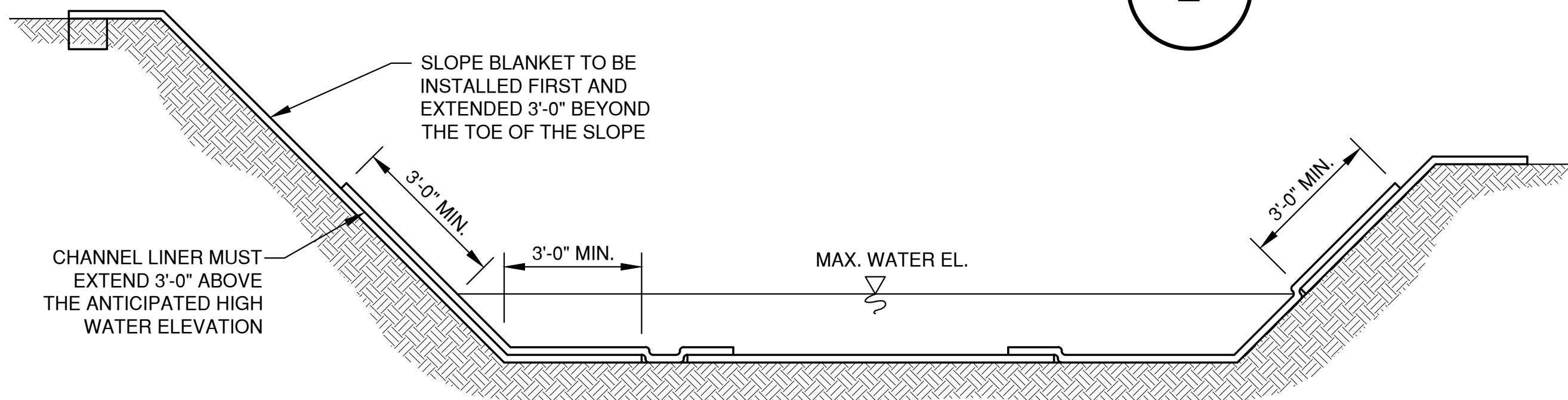


- NOTES:**
1. SEE MANUFACTURER SLOPE APPLICATION DETAIL SHEET FOR PROPER SLOPE INSTALLATION.
 2. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



CHANNEL INSTALLATION METHOD "A"

2

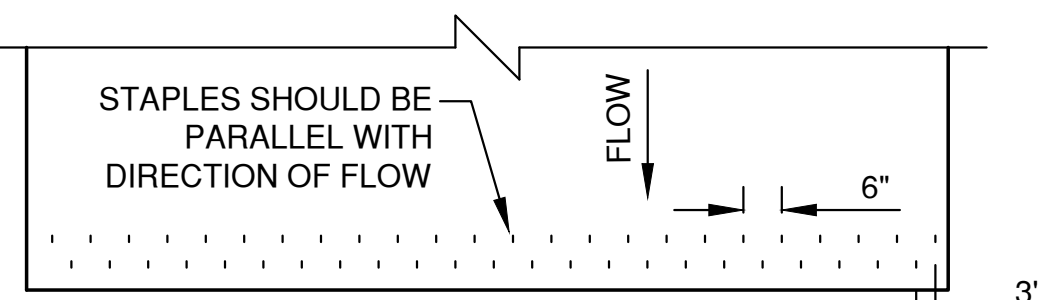


CHANNEL INSTALLATION METHOD "B"

3

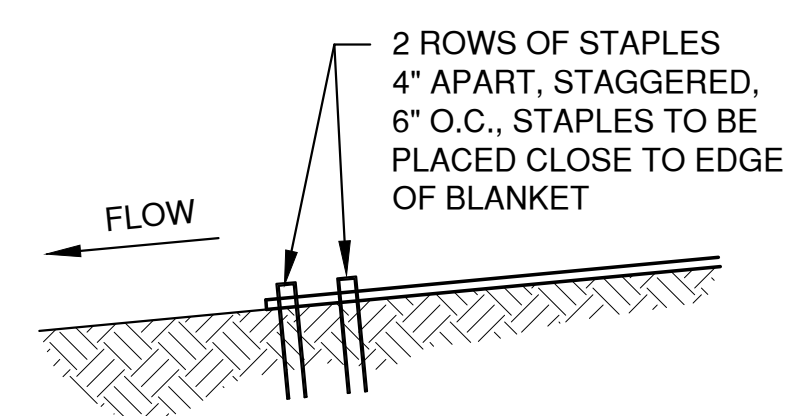
CHANNEL DETAIL

1



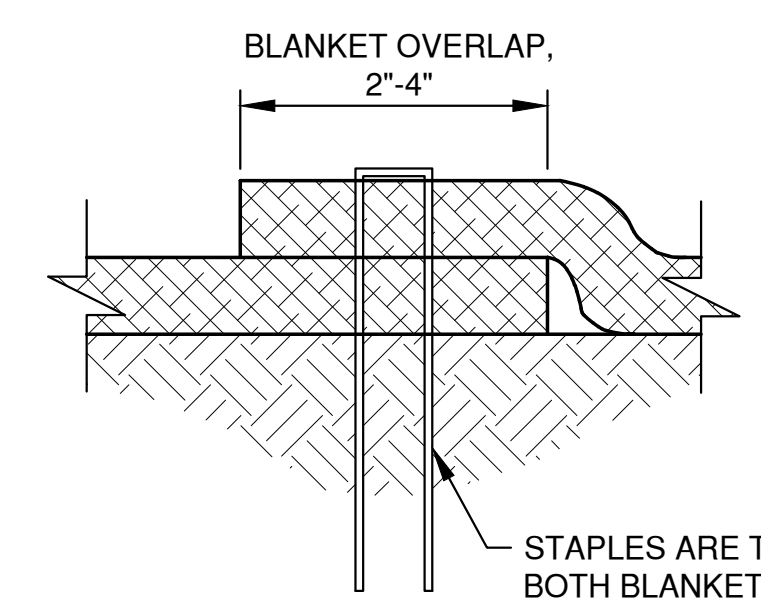
CHANNEL TERMINATION PLAN

4



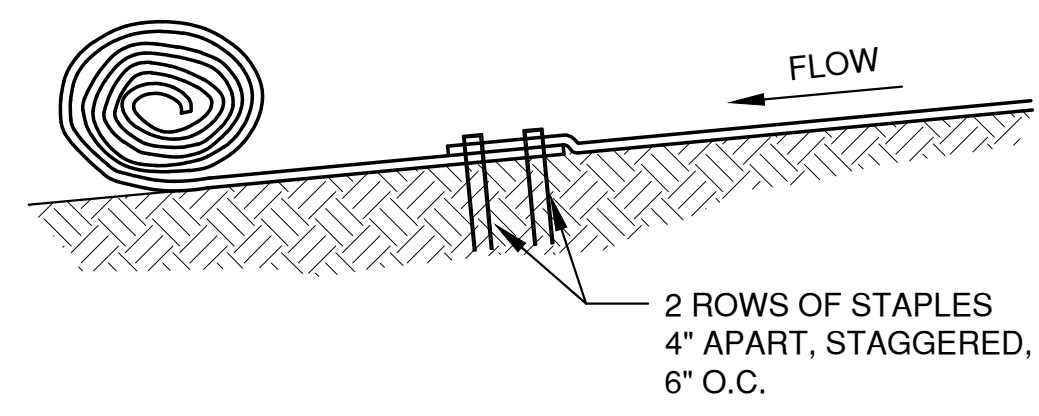
CHANNEL TERMINATION

5



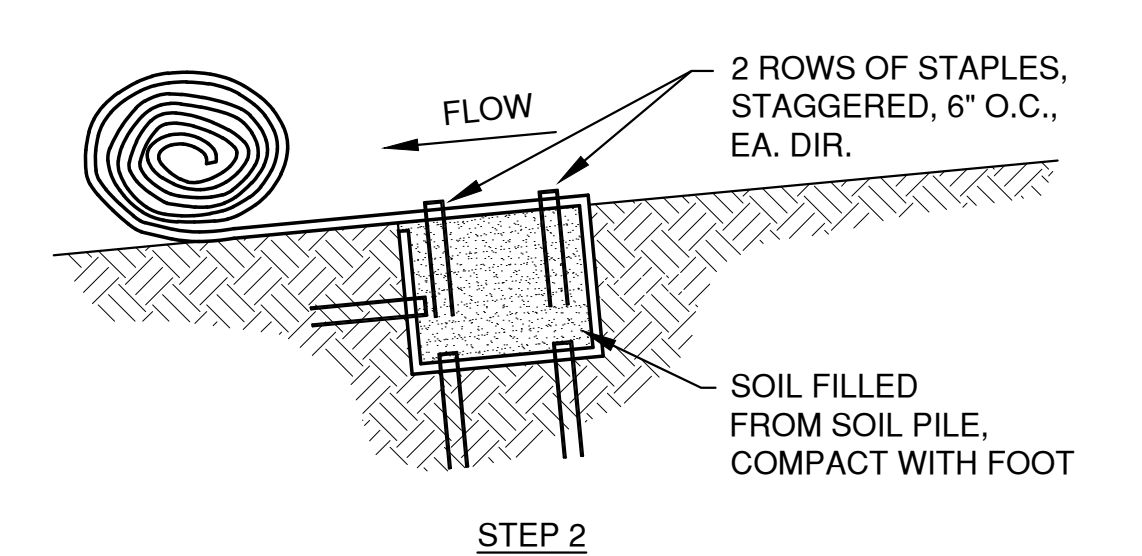
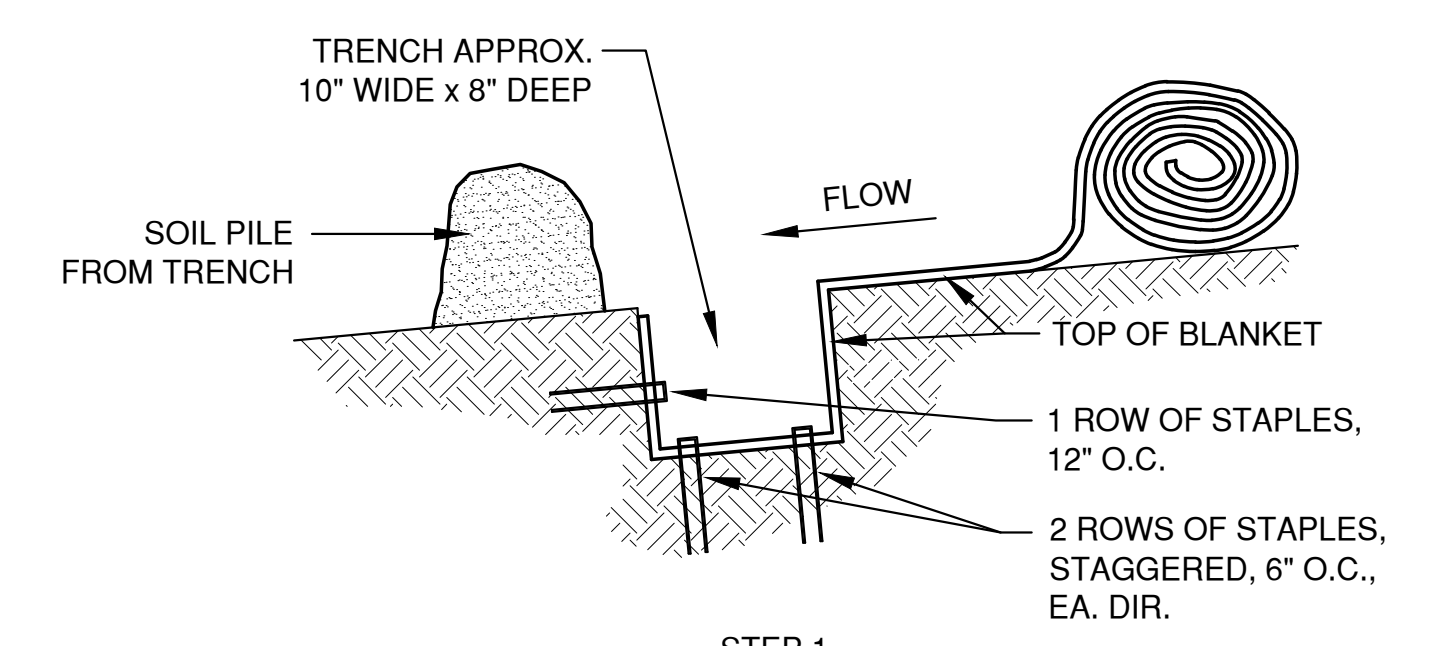
SIDE SEAM OVERLAP STAPLE DETAIL

6



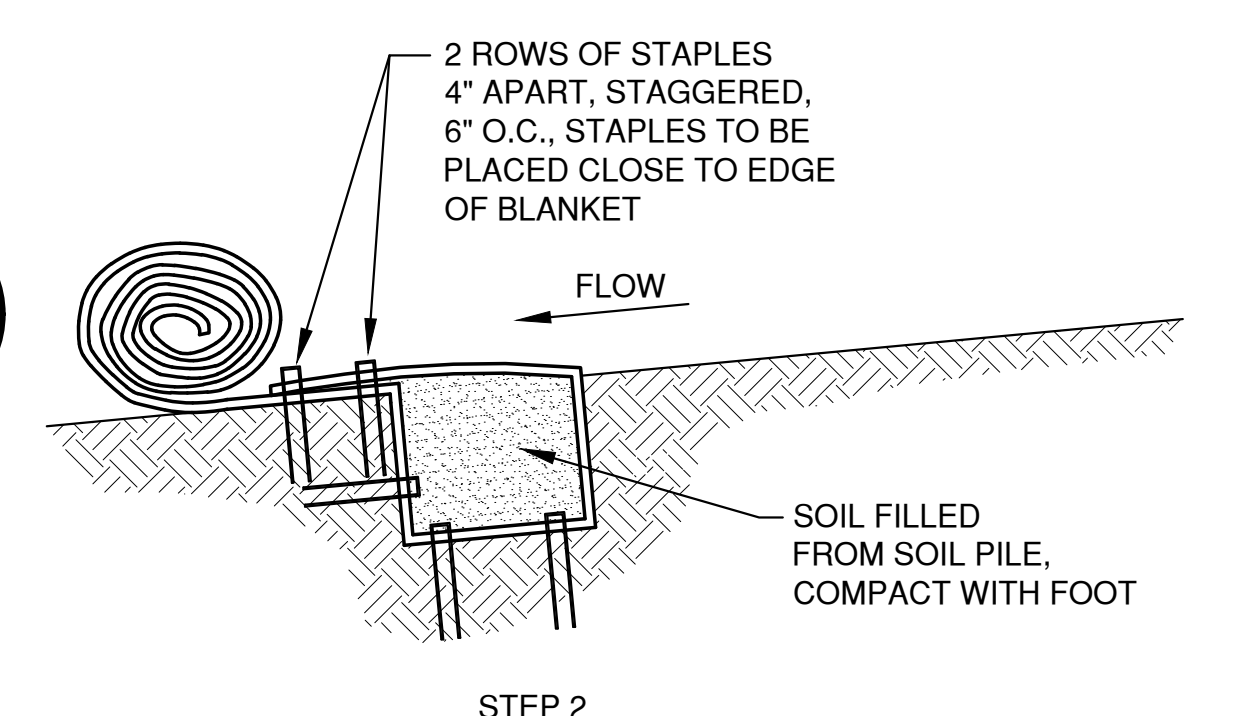
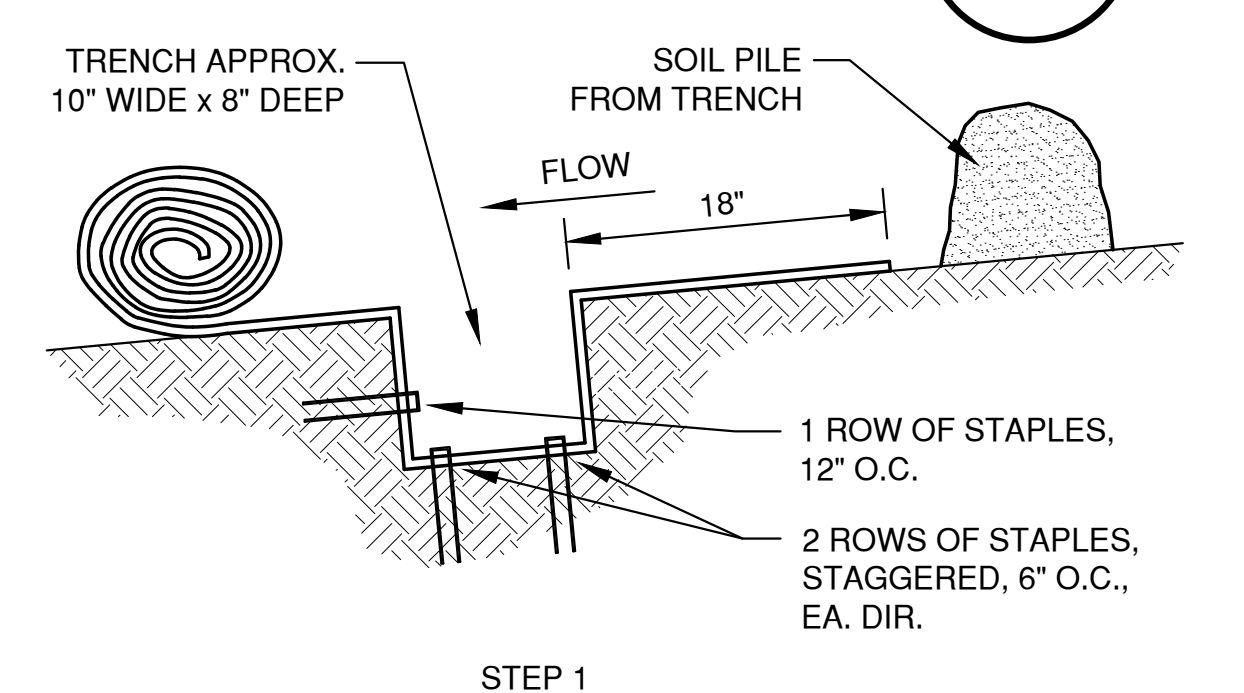
CHANNEL BLANKET END OF ROLL OVERLAP

7



CHANNEL TRENCHING METHOD "A"

8



CHANNEL TRENCHING METHOD "B"

9

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
								JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
EROSION MAT
CHANNEL APPLICATION DETAILS

DATE	04/2024
FILE	4329161 EC
JOB NO.	4329161

LANDSCAPE PLAN



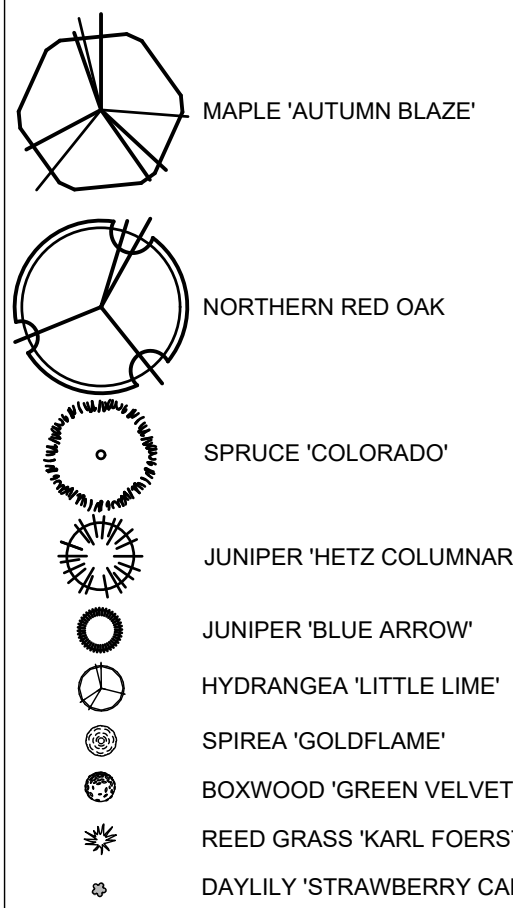
LANDSCAPE INSTALLATION NOTES:

- GENERAL:**
- Landscape contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
 - Landscape contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
 - All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
 - Quantities of material shown on plan take precedence over the specification list or legend.
 - If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.
- PLANTING:**
- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
 - All plant tags should be removed from material by landscape contractor.
 - All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
 - Edge all beds with a spade cut edge unless otherwise noted.
 - All backfill around plant material rootballs should receive a soil mix of 4 parts (pulverized) topsoil to 1 part fine, organic compost.
 - All wire baskets and stakes should be removed during planting.
 - Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
 - All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
ACE	16	Maple 'Autumn Blaze' - Acer x freemanii	2.5"
QUE	16	Oak 'Northern Red' - Quercus rubra	2.5"
HETZ	15	Juniperus chinensis 'Hetzi Columnaris' - Juniper 'Hetzi'	5'
PIC	8	Spruce 'Colorado Blue' - Picea pungens	5'
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HYD	188	Hydrangea 'Little Lime' - Hydrangea paniculata 'Jane'	#5 18"
SPI	137	Spirea x bumalda 'Goldflame' - Spirea 'Goldflame'	#5 18"
BUX	332	Buxus x 'Green Velvet' - Boxwood 'Green Velvet'	#5 18"
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CAL	134	Calamagrostis acutiflora 'Karl Foerster' - Grass, Feather Reed	#1
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HEM	205	Hemerocallis 'Strawberry Candy' - Daylily 'Strawberry Candy'	#1

PLANT LEGEND:



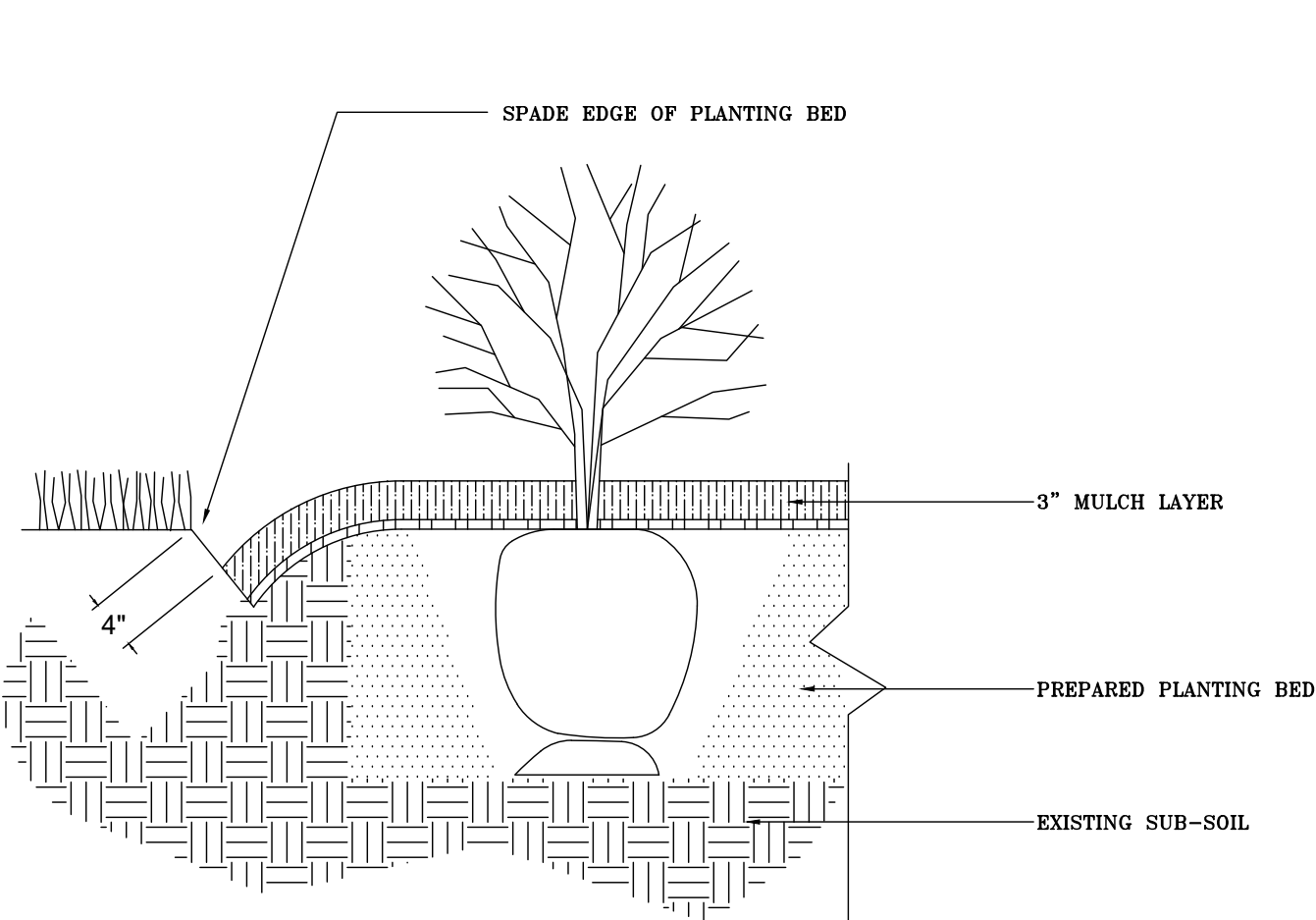
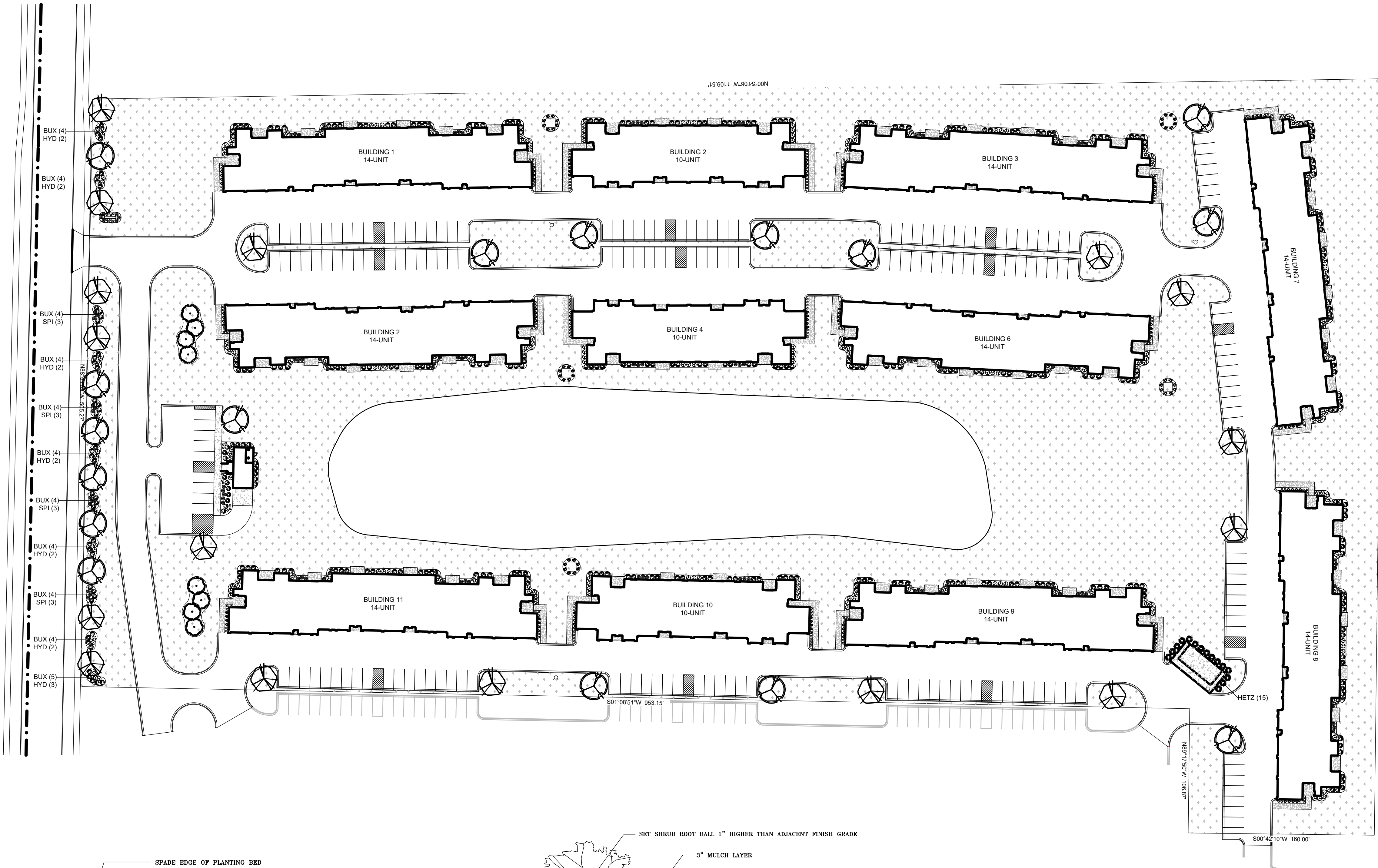
LANDSCAPE REQUIREMENTS:

Lot Line Landscaping: Lot line landscape strips in RM zoning districts shall be planted with a minimum of one shade tree and six shrubs per 40 linear feet of frontage.

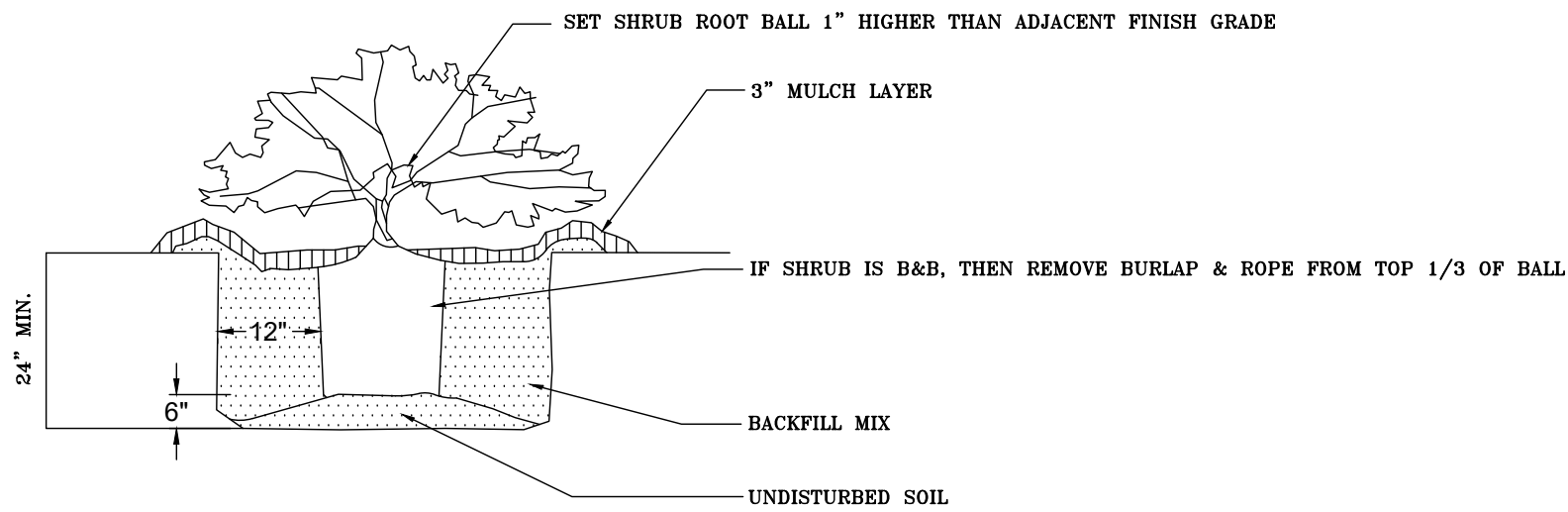
478' frontage / 40 = 12 shade trees & 72 shrubs required
12 shade trees & 72 shrubs provided

Interior Landscaping: One tree shall be planted in each island or peninsula, or within ten feet of the periphery of the parking area.

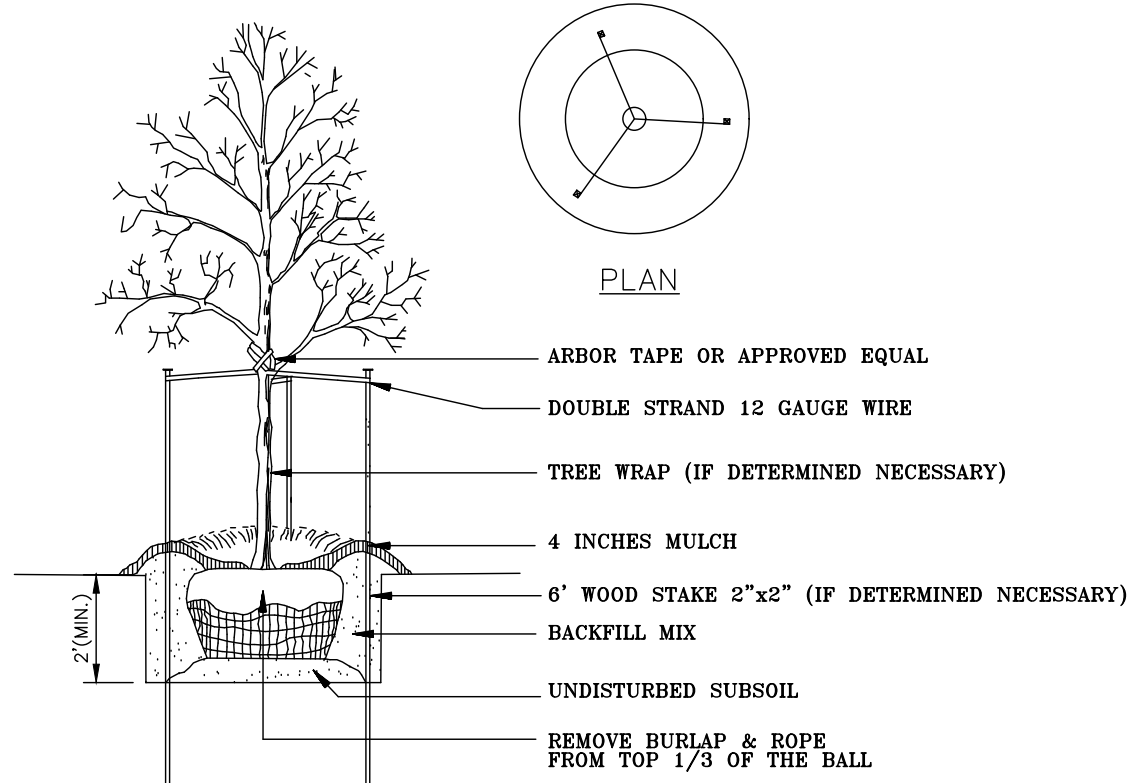
20 trees provided



SPADE-CUT EDGE DETAIL
N.T.S.



SHRUB PLANTING
N.T.S.

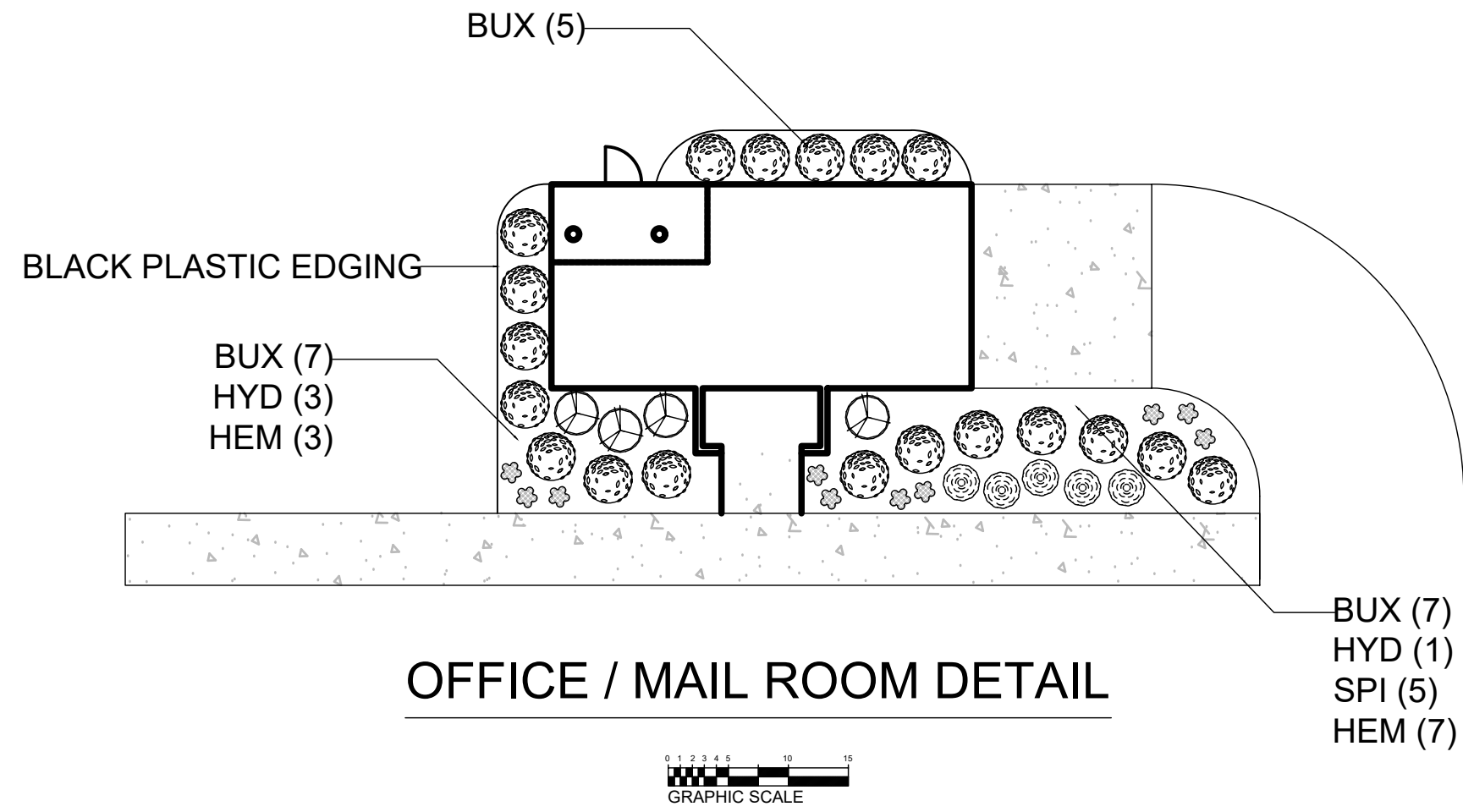
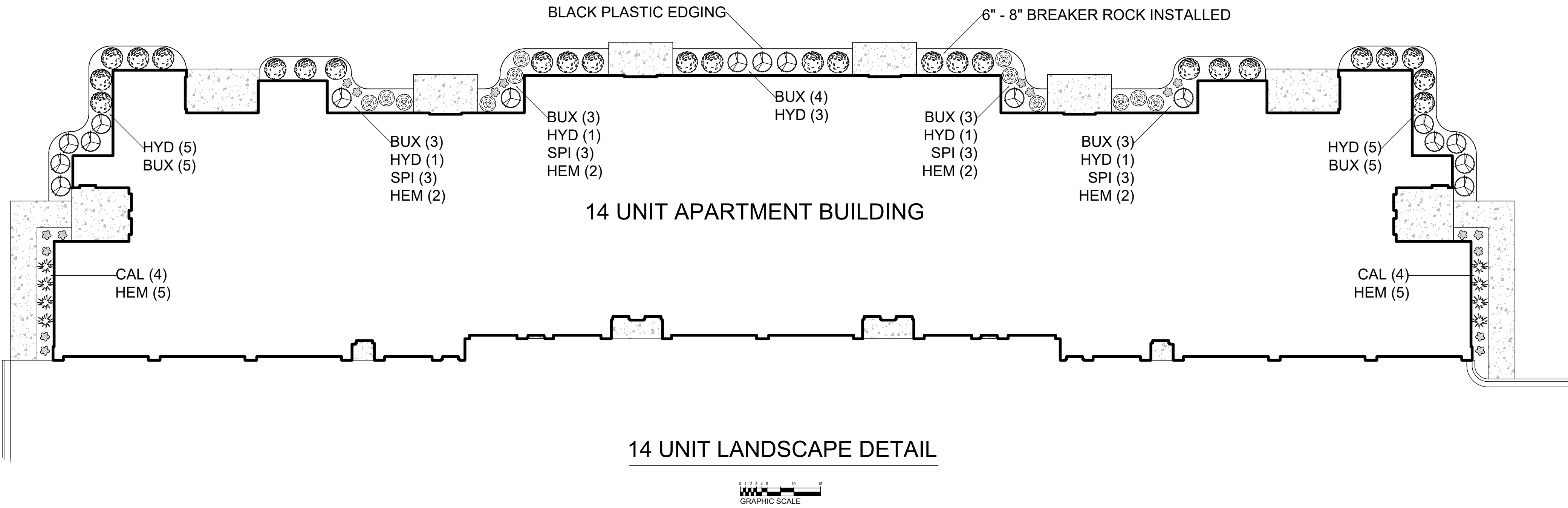
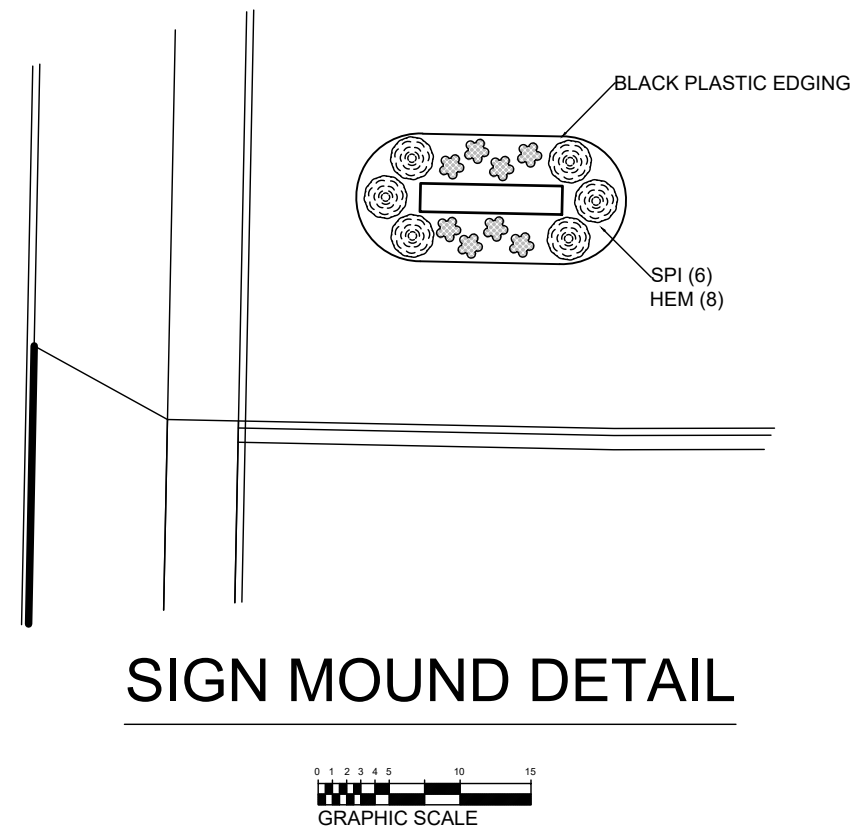
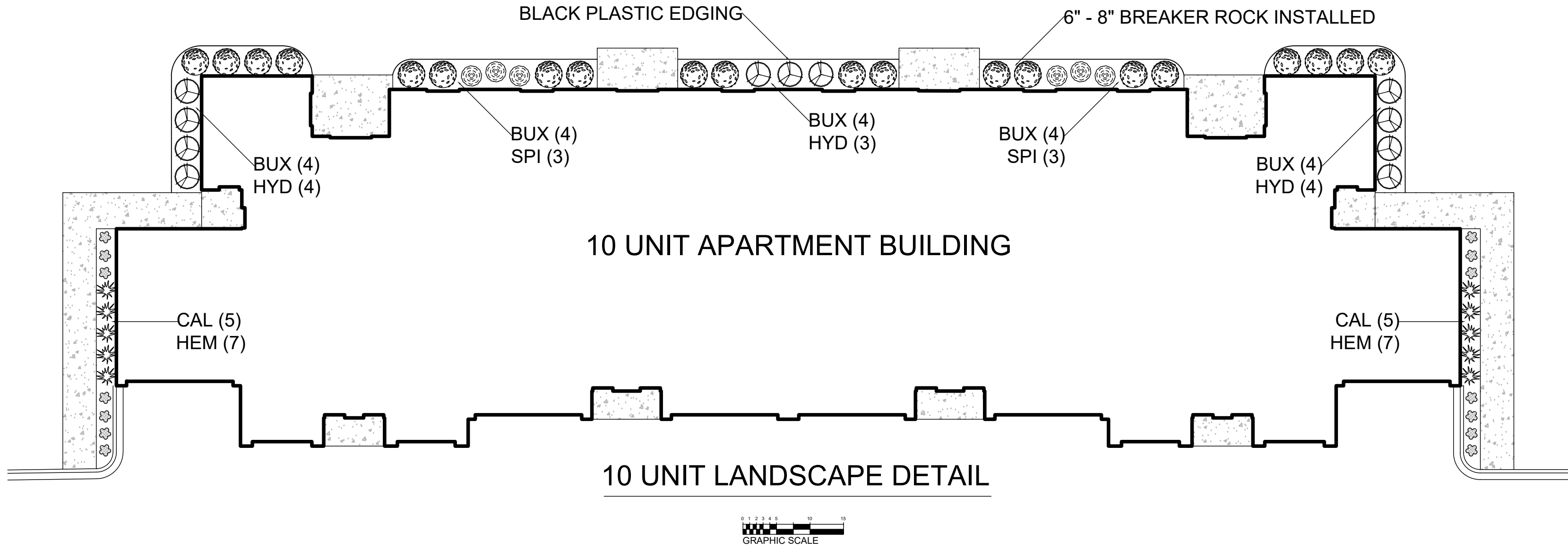


NOTE: USE MULCH PER PLAN/SPEC'S
TREE PLANTING
N.T.S.

This drawing is conceptual and is only to be used as a guide for construction. The completed project may differ from this plan in appearance and dimension.

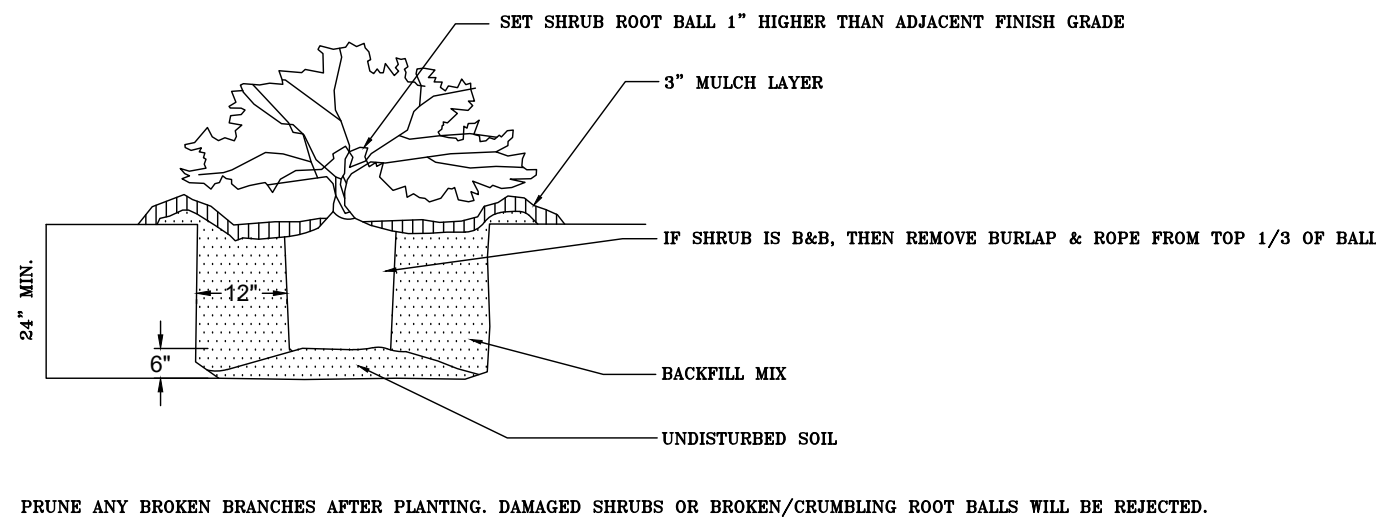
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Drawing Completed:
8-12-2024
8-13-2024



PLANT LEGEND:

-  HYDRANGEA 'LITTLE LIME'
-  SPIREA 'GOLDFLAME'
-  BOXWOOD 'GREEN VELVET'
-  REED GRASS 'KARL FOERSTER'
-  DAYLILY 'STRAWBERRY CANDY'

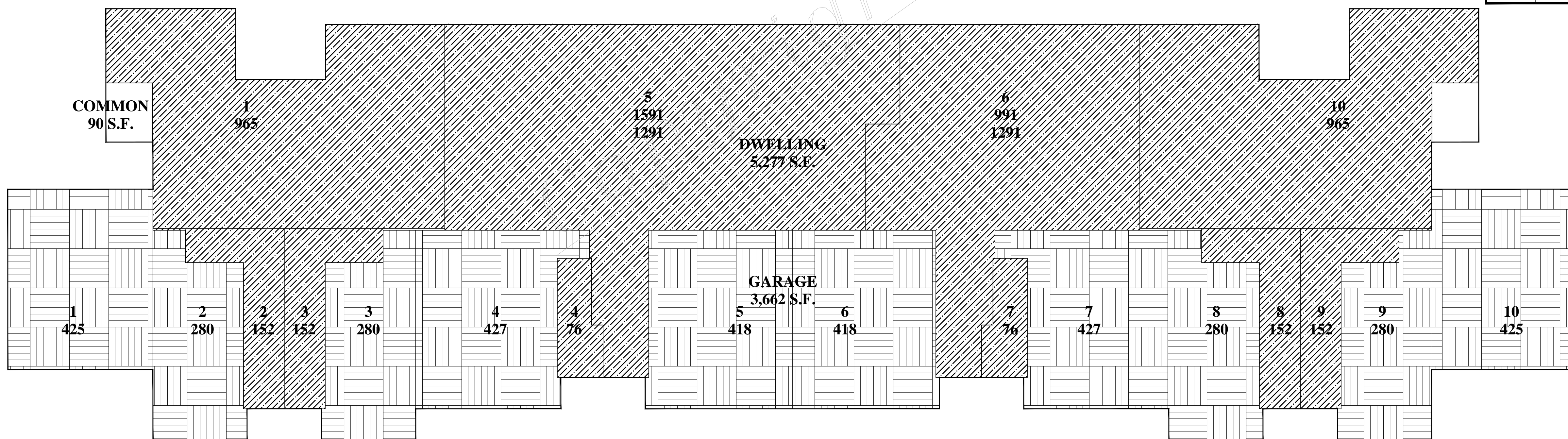


PLANT SCHEDULE

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HYD	173	Hydrangea 'Little Lime' - Hydrangea paniculata 'Jane'	#5 18"
SPI	125	Spiraea 'Goldflame' - Spiraea x blumalda 'Goldflame'	#5 18"
BUX	287	Buxus x 'Green Velvet' - Boxwood 'Green Velvet'	#5 18"
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CAL	94	Calamagrostis acutiflora 'Karl Foerster' - Grass, Feather Reed	#1
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HEM	205	Heemerallis 'Strawberry Candy' - Daylily 'Strawberry Candy'	#1

FIRST FLOOR
9029 S.F.

10-3.3.1 AREA DATA						
UNIT NUMBER	SQUARE FOOTAGE	GARAGE FOOTAGE	FLOOR	NOTES	BEDROOM / BATHS	
1	965 + 706 = 1,671	425	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2	3 BED / 3 1/2 BATH	
2	152 + 1181 = 1,339	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 BATH	
3	152 + 1065 = 1,217	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH	
4	76 + 1192 = 1,268	427	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH	
5	1,591	418	FIRST	TYPE "A" OR "B" ACCESSIBLE	3 BED / 2 BATH	
6	991	418	FIRST	TYPE "A" OR "B" ACCESSIBLE	1 BED / 1 1/2 BATH	
7	76 + 1192 = 1,268	427	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH	
8	152 + 1065 = 1,217	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH	
9	152 + 1181 = 1,339	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 BATH	
10	965 + 706 = 1,671	425	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2	3 BED / 3 1/2 BATH	
COMMON	95	2				
TOTALS	WITHIN DWELLING UNITS	COMMON SPACE	HEATED TOTAL	GARAGE UTILITY	TOTAL	
FIRST	5,212	95	5,277	3,662	9,029	
SECOND	8,300	0	8,300	0	8,300	
TOTAL	13,512	95	13,667	3,662	17,329	



10-3.3.1 10-3.3.1 - # 461493 ©
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[illegible]

SCALE: 1/8" = 1'-0"



(2) 1 BEDROOM / 1 ½ BATH
(2) 2 BEDROOM / 2 BATH
(4) 2 BEDROOM / 2 ½ BATH
(2) 3 BEDROOM / 3 ½ BATH

(3) 1 BEDROOM / 1 ½ BATH
(2) 2 BEDROOM / 2 BATH
(2) 2 BEDROOM / 2 ½ BATH
(1) 3 BEDROOM / 2 BATH
(2) 3 BEDROOM / 3 ½ BATH



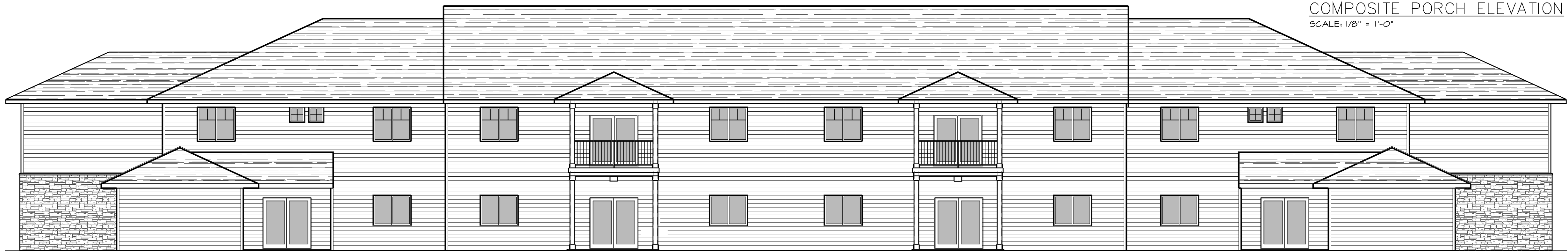
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA	
STONE	922	44.5	Casa di Sassi
SIDING	632	30.5	Herringbone
ROOF	221	10.5	Moire Black
SHAKE	289	14.5	Smoky Gray
TOTAL	2,064	100	

SCALE: 1/4" = 1'-0"

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REVISION	DATE															
X	XX															
<p align="center">LXINGTON -HOMES-</p> <p align="center">LEXINGTON HOMES</p> <p>OFFICE: 1256 Centennial Center Blvd HOBART, WISCONSIN 54155 Telephone: (920) 662-1611 Direct: (920) 655-1961</p> <p>EMAIL: cambrosia@lexingtonneighborhoods.com WEB: lexingtonneighborhoods.com</p>		<p align="right">DATE 8/6/2024</p> <hr/> <p align="right">PROJECT NO. 461493</p> <hr/> <p align="right">SHEET</p> <h1 align="center">A</h1> <h1 align="center">1.1</h1>														

PRELIMINARY
 NOT FOR CONSTRUCTION



COMPOSITE PORCH ELEVATION
SCALE: 1/8" = 1'-0"



WINDOW NOT SEEN IN
2D ELEVATION

LOCATION OF PTAC
ON BLDG 3.3.1

DETAILED
PORCH ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING MATERIAL
AREA DATA

MATERIAL			
STONE	245	8	Casa di Sassi
SIDING	2650	89	Herringbone
ROOF	83	3	Moire Black
SHAKE	0	0	Smokey Gray
TOTAL	2978	100	



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

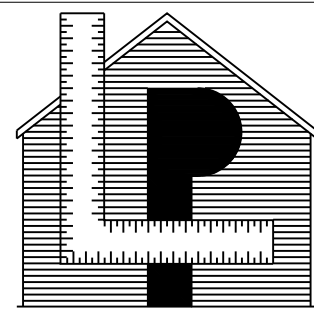
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HOMES

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-HOMES-

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cambrosius@lexingtonneighborhoods.com
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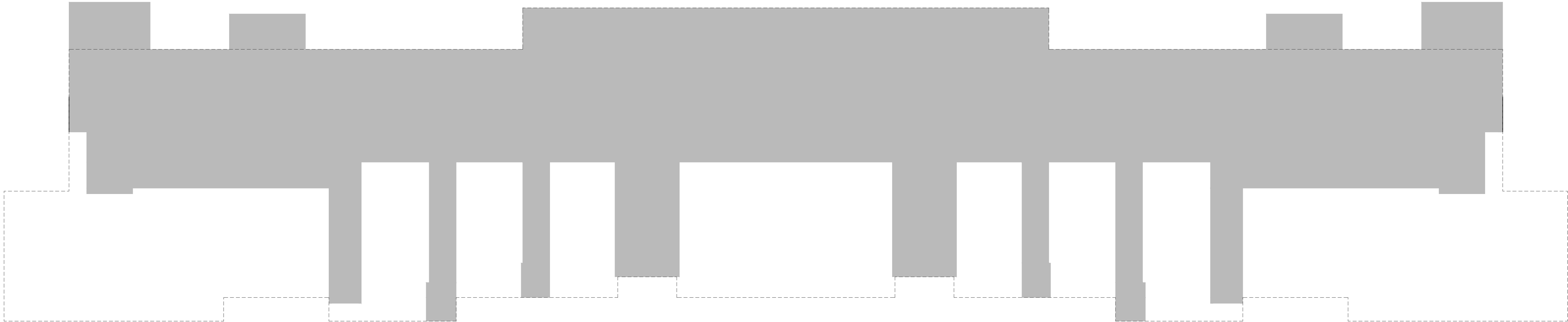
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926 WILLARD DRIVE
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GREEN BAY, WISCONSIN 54313
Telephone: (920) 737-9769

EMAIL:
laplantarchitecture@yahoo.com
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X	XX

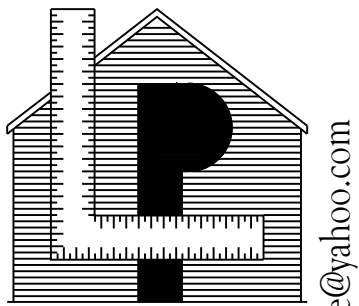
DATE 8/8/2024
PROJECT NO. 461493
SHEET A 1.2

PRELIMINARY
NOT FOR CONSTRUCTION



14-3.2.2 AREA DATA						
UNIT NUMBER	SQUARE FOOTAGE	GARAGE FOOTAGE	FLOOR	NOTES		BEDROOM / BATHROOM
1	70 + 1261 = 1,331	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
2	1034 + 760 = 1,794	395	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		3 BED / 3 1/2 BATH
3	855 + 703 =1,558	393	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		2 BED / 2 1/2 BATH
4	50 + 937 = 987	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
5	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
6	61 + 1188 = 1,249	270	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
7	1,300	402	FIRST	TYPE "B" ACCESSIBLE		2 BED / 2 1/2 BATH
8	1,300	402	FIRST	TYPE "A" OR "B" ACCESSIBLE		2 BED / 2 1/2 BATH
9	61 + 1188 = 1,249	270	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
10	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
11	50 + 937 = 987	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
12	855 + 703 =1,558	393	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		2 BED / 2 1/2 BATH
13	1034 + 760 = 1,794	395	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		3 BED / 3 1/2 BATH
14	70 + 1261 = 1,331	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
COMMON	393	47				
TOTALS	WITHIN DWELLING UNITS	COMMON SPACE	HEATED TOTAL	GARAGE UTILITY	TOTAL	
FIRST	6,834	304	7,138	5,008	12,146	
SECOND	11,626	0	11,626	0	11,626	
TOTAL	18,460	304	18,764	5,008	23,772	

14-3.3.1 AREA DATA						
UNIT NUMBER	SQUARE FOOTAGE	GARAGE FOOTAGE	FLOOR	NOTES		BEDROOM / BATHROOM
1	70 + 1261 = 1,331	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
2	1034 + 760 = 1,794	395	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		3 BED / 3 1/2 BATH
3	855 + 703 =1,558	393	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		2 BED / 2 1/2 BATH
4	50 + 937 = 987	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
5	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
6	61 + 1188 = 1,249	270	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
7	1,600	402	FIRST	TYPE "A" OR "B" ACCESSIBLE		3 BED / 2 BATH
8	1,000	402	FIRST	TYPE "A" OR "B" ACCESSIBLE		1 BED / 1 1/2 BATH
9	61 + 1188 = 1,249	270	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
10	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
11	50 + 937 = 987	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		1 BED / 1 1/2 BATH
12	855 + 703 =1,558	393	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		2 BED / 2 1/2 BATH
13	1034 + 760 = 1,794	395	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2		3 BED / 3 1/2 BATH
14	70 + 1261 = 1,331	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY		2 BED / 2 1/2 BATH
COMMON	393	47				
TOTALS	WITHIN DWELLING UNITS	COMMON SPACE	HEATED TOTAL	GARAGE UTILITY	TOTAL	
FIRST	6,834	304	7,138	5,008	12,146	
SECOND	11,626	0	11,626	0	11,626	
TOTAL	18,460	304	18,764	5,008	23,772	



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LEXINGTON
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14-3 - # 461493 ©
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Date, 2024

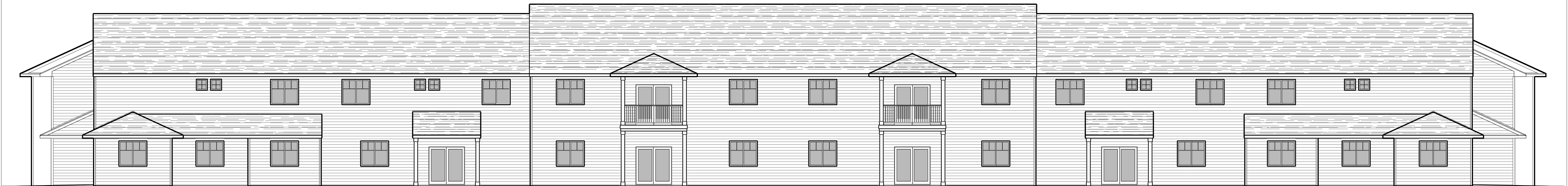
14-3
Townhome with Attached Garages

REVISION	DATE

DATE 7/16/2024
PROJECT NO. 461493
SHEET T 1.3

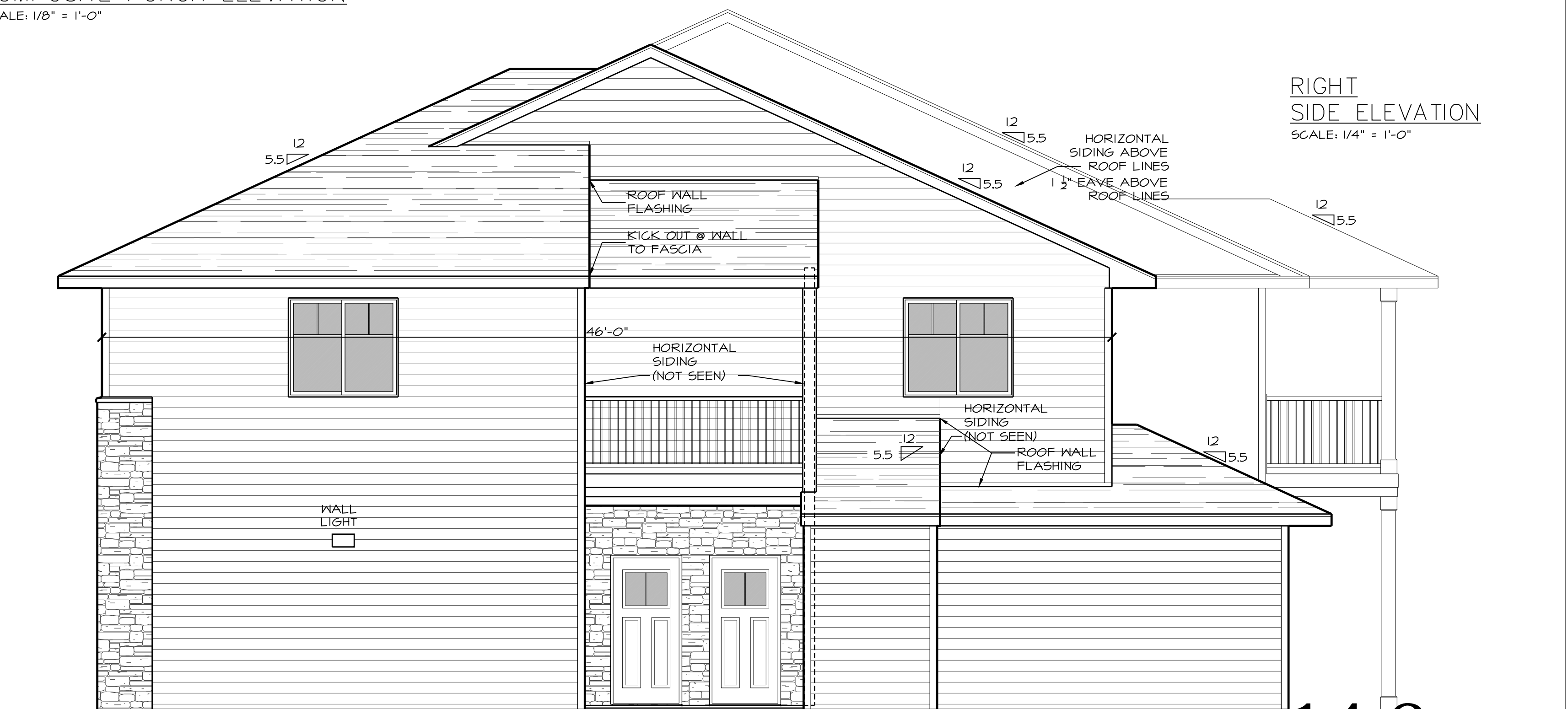
COMPOSITE DRIVE ELEVATION
SCALE: 1/8" = 1'-0"

The drawing is a detailed architectural elevation of a townhome complex. It features a long, symmetrical row of units with a central entrance and multiple garage doors. The elevation includes a title block with the text 'COMPOSITE DRIVE ELEVATION' and 'SCALE: 1/8" = 1'-0"'. The drawing is a black and white line drawing with hatching for shading. The units are arranged in a row, with a central entrance and multiple garage doors. The elevation includes a title block with the text 'COMPOSITE DRIVE ELEVATION' and 'SCALE: 1/8" = 1'-0"'. The drawing is a black and white line drawing with hatching for shading.

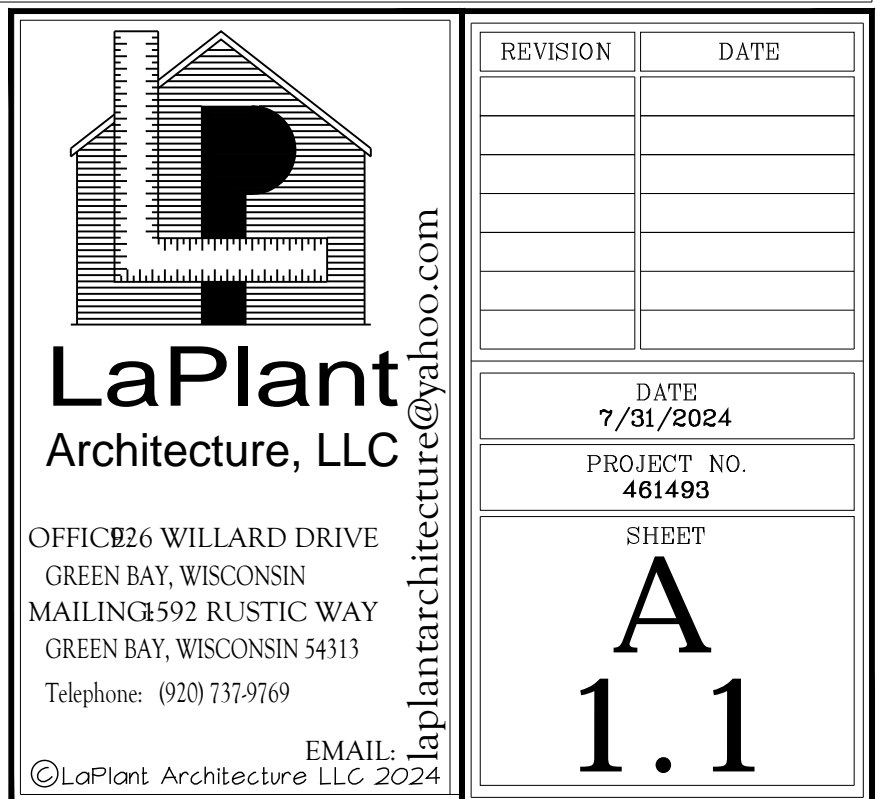


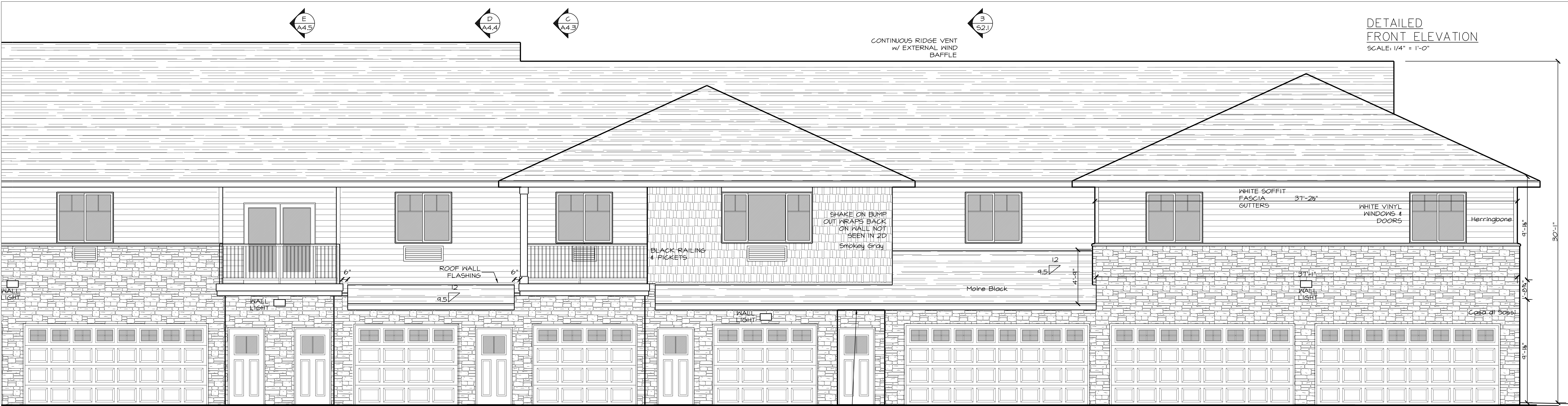
LEFT
SIDE ELEVATION

SCALE: 1/4" = 1'-0"

This architectural drawing shows the left side elevation of a two-story house. The roof is gabled with a pitch indicated by a triangle with a vertical side of 12 and a horizontal side of 5.5. On the left side, there is a porch area with a railing. A window is located on the first floor, and another is on the second floor. The central part of the house features a full-width front porch supported by columns, with a stone veneer base. To the right of the porch is a large wall with a single window and a small square wall light. The drawing includes various labels such as "HORIZONTAL SIDING ABOVE ROOF LINES", "ROOF WALL FLASHING", "KICK OUT @ WALL TO FASCIA", and "WALL LIGHT". Dimensions like "46'-0\" are also present. The scale is given as 1/4 inch equals 1 foot.[illegible]

14-3





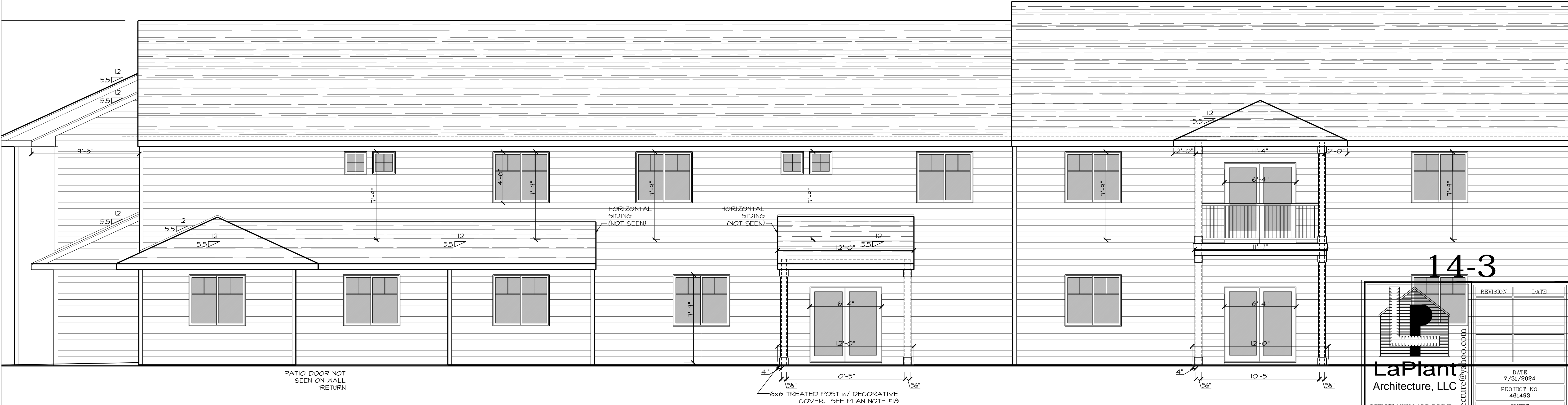
DETAILED
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

14-3.2.2 BUILDING DATA
(4) 1 BEDROOM / 1 1/2 BATH
(8) 2 BEDROOM / 2 1/2 BATH
(2) 3 BEDROOM / 3 1/2 BATH

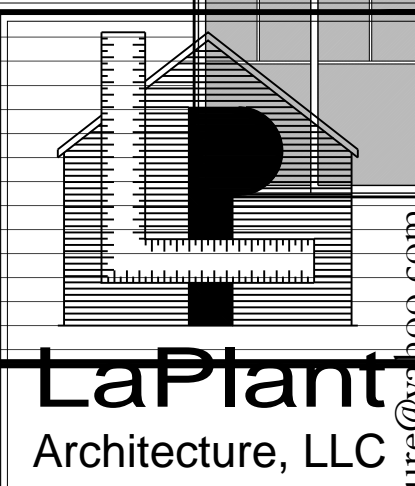
14-3.3.1 BUILDING DATA
(5) 1 BEDROOM / 1 1/2 BATH
(6) 2 BEDROOM / 2 1/2 BATH
(1) 3 BEDROOM / 2 BATH
(2) 3 BEDROOM / 3 1/2 BATH

BUILDING MATERIAL AREA DATA			
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA	
STONE	1,300	44.5	Casa di Sassi
SIDING	968	33	Herringbone
ROOF	300	10	Moire Black
SHAKE	364	12.5	Smokey Gray
TOTAL	2,932	100	

DETAILED
PORCH ELEVATION
SCALE: 1/4" = 1'-0"



14-3



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REVISION	DATE

DATE	7/31/2024
PROJECT NO.	461493
SHEET	A
	1.2



Item For Consideration Plan Commission

For Plan Commission Review On: September 9th, 2024 **Prepared On:** Sept. 3, 2024
Agenda Item Topic: Temporary Uses (Food Trucks) **Prepared By:** Administration

Report: As requested by the Plan Commission and Trustee Van Deurzen, attached to this IFC is Section 44-13. Use Regulations. This covers mobile vendors allowed in Little Chute. The Village of Little Chute receives anywhere from 3-6 Temporary Use permits related to mobile vendors in a calendar year. We require bathrooms to be accessible for mobile uses, whether that is provided by the primary use of a property or temporarily set up on a property. The approval is only good for 90-days in a calendar year.

Information on neighboring communities:

Kimberly – does not have regulations for food trucks.
Appleton – does allow food trucks.
Kaukauna – does allow food trucks.
Grand Chute – does allow food trucks.
Combined Locks – does allow food trucks.

Our Municipal Code is below:

Sec. 44-13. Use regulations.

Only the following uses and their essential services may be allowed in any district:

- (1) *Permitted uses.* Permitted uses, being the principal uses, specified for a district.
- (2) *Accessory uses.* Accessory uses and structures as specified are permitted in any district but not until their principal structure is present or under construction.
- (3) *Conditional uses.* The following provisions are applicable to conditional uses generally:
 - a. Conditional uses and their accessory uses are considered as special uses requiring, for their authorization, review, public hearing and approval by the plan commission or village board in accordance with article IV of this chapter excepting those existent at time of adoption of the Zoning Code.



Item For Consideration

Plan Commission

- b. Those existing uses which are classified as conditional uses for the district in which they are located at the time of adoption or amendment of the ordinance from which this chapter is derived, require no action by the plan commission or village board for them to continue as valid conditional uses.
 - c. A proposed change from permitted use in a district to a conditional use shall require review, public hearing, and approval by the plan commission or village board in accordance with article IV of this chapter.
 - d. Conditional use, when replaced by permitted use, shall terminate. In such case, the reestablishment of any previous conditional use, or establishment of new conditional use shall require review, public hearing and approval by the plan commission or village board in accordance with article IV of this chapter.
 - e. Conditional uses authorized by plan commission or village board resolution shall be established for a period of time to a time certain or until a future happening or event at which the same shall terminate.
 - f. Conditional uses authorized by the plan commission or village board shall not be subject to substitution with other conditional uses, either regular or limited, whether similar type or not, without plan commission approval and the procedures required in article IV of this chapter.
- (4) *Uses not specified in this zoning chapter.*
- a. Uses not specified in this chapter which are found by the plan commission to be sufficiently similar to specified permitted uses for a district shall be allowed by zoning administrator.
 - b. Uses not specified in this chapter and which are found sufficiently similar to specified conditional uses permitted for a district may be permitted by the plan commission after public hearing and approval in accordance with article IV of this chapter.
- (5) **Temporary or mobile uses.** The following provisions are applicable to temporary or mobile uses generally:



Item For Consideration Plan Commission

- a. Temporary or mobile uses are defined as, but not limited to the following:
 1. Fireworks stands;
 2. Sales tents;
 3. Catering trucks;
 4. Food service trucks;
 5. Hot dog carts;
 6. Food service trailers;
 7. Food vending carts;
 8. Mobile offices; and
 9. Other commercial uses;

which utilize mobile or portable facilities which are not permanently connected to public water or sanitary sewer utilities and are not secured permanently to the land on which located.
- b. Temporary or mobile uses as described in subsection (5)a of this section may be permitted by the zoning administrator for no longer than one continuous 90-day period annually when determined not to be in conflict with the neighboring uses and the general provisions within the zoning district in which located.
- c. Applicants shall submit drawings photographs and scaled site plans showing location, parking, signs, etc., to the zoning administrator prior to issuance of a permit.
- d. In addition, the board of appeals under section 44-517 shall have the power to hear and grant applications for temporary uses, in any district provided that such uses are of a temporary nature, do not involve the erection of a substantial structure and are compatible with the neighboring uses and the plan commission has made a review and recommendation. The permit shall be temporary, revocable, subject to any condition required by the board of zoning appeals and shall be issued for a period not to exceed 12 months. Compliance with all other provisions of this chapter shall be required. An



Item For Consideration Plan Commission

application fee as established by the village board, from time to time, and appears on the fee schedule attached as appendix C to this Code shall be required for board of appeals review.

(Code 2006, § 13-1-21; Ord. No. 2(Ser. of 2007), § 1, 2-7-2007)

Fiscal Impact: Currently, the fee to operate a temporary or mobile use is \$175 per calendar year.

Recommendation/Board Action:

Respectfully Submitted,
Beau Bernhoft, Village Administrator