



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, September 9, 2024

TIME: 5:00 p.m.

Virtually attend the September 9th , Plan Commission meeting at 5 PM by following the link here:

Join Zoom Meeting: <https://us06web.zoom.us/j/89254959673>

Meeting ID: 892 5495 9673

Dial by your location: +1 312 626 6799 US (Chicago)

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

1. Approval of Minutes from the Plan Commission Meeting of August 19, 2024
2. Discussion/Action – Mazzanti Estates Final Plat
3. Discussion/Action – Site Plan Review for Phase 1 of Evantra Multi-Family Development
4. Discussion – Food Truck Regulations
5. Items for Future Agenda
6. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 September 5, 2024

MINUTES OF THE PLAN COMMISSION MEETING OF AUGUST 19, 2024

Call to Order

The Plan Commission meeting was called to order at 5:00 PM by President Vanden Berg

Roll Call

PRESENT: President Vanden Berg

Jim Moes

Bill Van Berkel

Larry Van Lankvelt

Todd Verboomen

Tom Lonsway

EXCUSED: Kent Taylor

STAFF PRESENT: Beau Bernhoft, Jessica Titel

Public Appearance for Items Not on the Agenda

Mr. Don Van Deurzen raised concerns about Food Trucks being allowed to park anywhere and would like a review of the Food Truck Ordinance.

Approval of Minutes from the Plan Commission Meeting of July 8, 2024

Moved by Commissioner Van Lankvelt, seconded by Commissioner Verboomen to approve the Plan Commission Meeting Minutes of July 8, 2024.

All Ayes – Motion Carried

Public Hearing – Conditional Use Request for Duke Rentals, 3070 Spirit Court

Moved by Commissioner Van Berkel, seconded by Commissioner Verboomen to enter Public Hearing at 5:09 p.m.

All Ayes – Motion Carried

Director Titel presented a request by Duke Rentals, 3070 Spirit Court for a special use permit for construction equipment rental and sales. This is a special exception in the Commercial Highway District and would apply to entire property.

Moved by Commissioner Moes, seconded by Commissioner Verboomen to exit Public Hearing at 5:10 p.m.

All Ayes – Motion Carried

Discussion/Action – Conditional Use Request for Duke Rentals, 3070 Spirit Court

Moved by Commissioner Moes, seconded by Commissioner Verboomen to approve the Conditional Use Request as presented.

All Ayes – Motion Carried

Items for Future Agenda

Food Truck Ordinance Review

Adjournment

Moved by Commissioner Verboomen seconded by Commissioner Van Lankvelt to Adjourn Plan Commission Meeting at 5:16 PM

All Ayes – Motion Carried

VILLAGE OF LITTLE CHUTE

By: _____
Michael Vanden Berg, Village President

Attest: _____
Laurie Decker, Village Clerk



Item For Consideration

Plan Commission

Plan Commission Meeting Date: 9/9/2024

Prepared On: 9/4/2024

Agenda Item Topic: **Final Plat – Mazzanti Estates**

Prepared By: Jessica Titel, Community Development Department

Applicants: Lexington Homes & Troy Hewitt, Robert E. Lee & Associates

Owner (s): Evantra, LLC (Parcel #260446904 & #260446905) and Village of Little Chute (Parcel #260446903)

Address/Parcel #: Golden Gate Drive, Parcel #'s 260446904, 260446905 and 260446903

Request: The Final Plat for Mazzanti Estates was recently submitted to the Village. The proposed plat includes two lots for multi-family development, 31 single family lots and one outlot, along with the dedication of public right-of-way for the future extension of Golden Gate Drive.

Zoning Classification: RM Multi-Family Residential and RD Dense Modern Single-Family

Project Summary/Background: The final plat includes 33 lots and one outlot and contains approximately 51.5 acres of land. The multi-family development will occur on two lots (Lots 32 and 33) and is approximately 40.4 acres in size. The plat also includes 31 single family lots on approximately 8.2 acres of land area. Approximately 2.9 acres of land will be dedicated to the public for the extension of Golden Gate Drive to Holland Road. This plat has been reviewed by staff and follows the requirements in Sec 42-64. After Plan Commission review, this Final Plat will move to the Village Board on September 18 for final action. The Final Plat is attached to this report for Plan Commission review. A Site Plan application has also been submitted for the subject property.

Previous Action:

- May 13, 2024 – Plan Commission recommended approval of the Preliminary Plat for Mazzanti Estates. A public hearing was also held regarding this item.



Item For Consideration

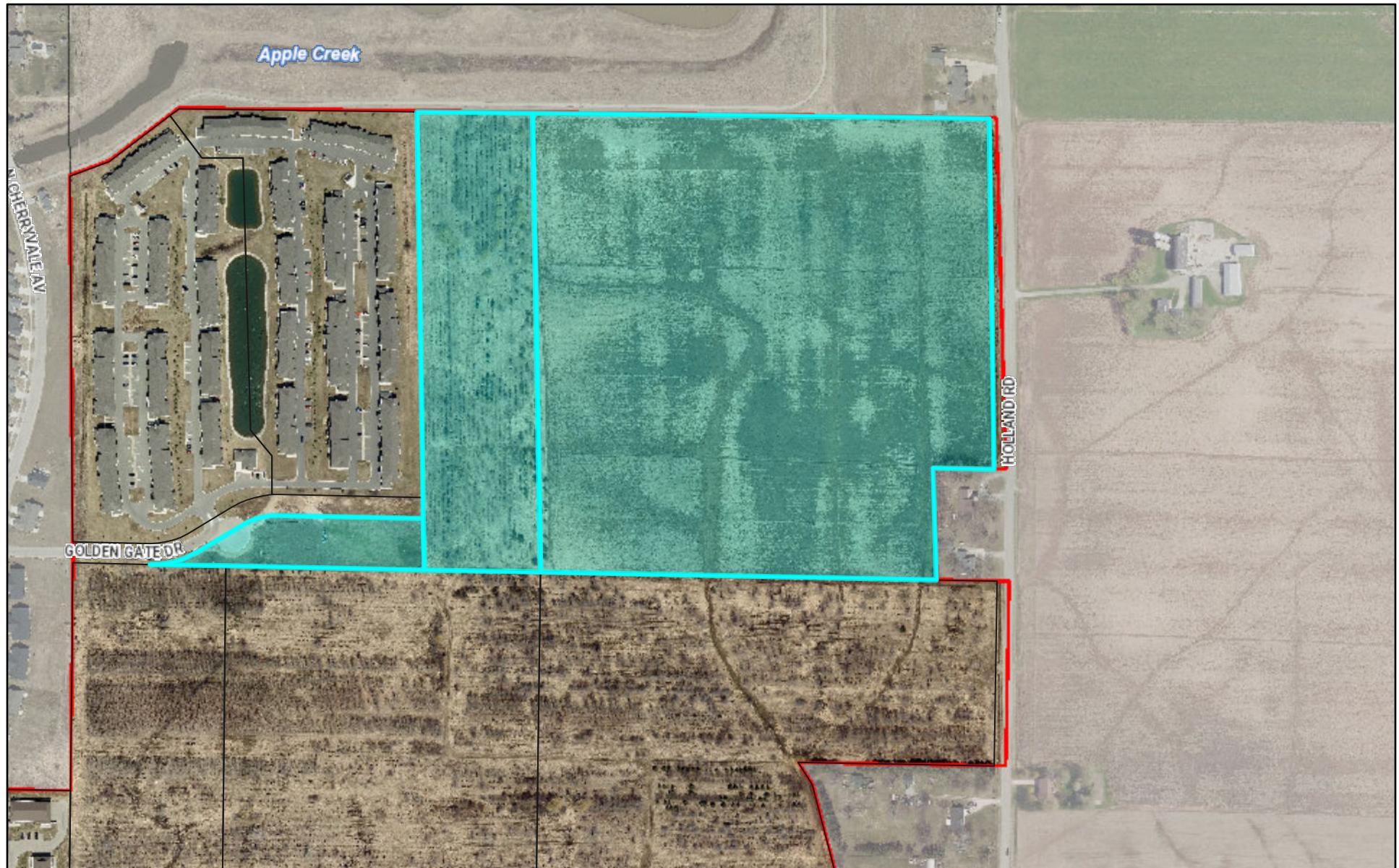
Plan Commission

- June 5, 2024 – Village Board adopted Resolution No. 9, Series of 2024 approving the Mazzanti Estates preliminary plat.
- June 10, 2024 – Plan Commission recommended approval of the proposed rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.
- July 17, 2024 – Village Board approved and adopted ordinances for the rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.

Recommendation/Board Action: Staff is recommending adoption of a resolution for approval of the Mazzanti Estates Final Plat to the Village Board, subject to the satisfaction of all staff comments.

Respectfully Submitted,
Jessica Titel, Community Development Director

Vicinity Map - Mazzanti Estates Final Plat



9/4/2024, 12:33:07 PM

Parcels

1:4,800
0 0.04 0.08 0.16 mi
0 0.05 0.1 0.2 km

Outagamie County, Village of Little Chute, REL & Associates, Inc.

Village of Little Chute
Robert E. Lee & Associates, Inc., Outagamie County



Little Chute

ESTABLISHED 1848

APPLICATION FOR SUBDIVISION AND/ OR CSM REVIEW

Name of Subdivision: MAZZANTI ESTATES

Parent Parcel # 260446903, 260446904, 260446908

Number of Lots: 33 & 1 OL

Preliminary Plat Final Plat CSM

Will deed restrictions be recorded? Yes No

Property Owner Information:

Name: LEXINGTON HOMES Telephone Number: 920-662-1611

Mailing Address: 1256 CENTENNIAL CENTRE BLVD

Surveyor Information:

Name: TROY HEWITT Telephone Number: 920-662-9641 email thewitt@releeinc.com

Engineer Information:

Name: JARED SCHMIDT Telephone Number: 920-662-9641 email: jschmidt@releeinc.com

Required for plat review:

- Lot Layout (4 full size copies) and (24) 11" x 17" copies
- Topographic survey (4 full size copies) and (2) 11" x 17" copies
- Drainage plan (4 full size copies) and (2) 11" x 17" copies
- Pavement Design Catalog (3 copies)
- Stormwater Pollution Prevention Plan / Erosion Prevention & Sediment Control Plan (3 copies)
- Final plans and specifications of public improvements (4 full size copies) and (2) 11" x 17" copies
- Proposed CSM (24) copies**
- Plat restrictions or covenants to be recorded (3 copies)

Filing Fees:

Preliminary Plat \$100.00 plus \$5.00 per lot. **Final Plat \$50.00 plus \$2.00 per lot.** **CSM \$50.00 flat fee.**

Amount of Fees submitted: \$ 118

Signature of Applicant

Date _____

Submit to: Director of Community Development
108 W Main Street, Little Chute, Wisconsin 54140
(920)423-3870 jim@littlechutewi.org

MAZZANTI ESTATES

ALL OF LOT 3, VOLUME 45 OF CERTIFIED SURVEY MAPS, PAGE 7483, MAP NUMBER 7483, DOCUMENT NUMBER 2124292 (CSM 7483) AND PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, ALL LOCATED IN SECTION 8, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE OF DEDICATION

Evanta, LLC, a limited liability corporation duly organized and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said limited liability corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Village of Little Chute, LLC does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1.) VILLAGE OF LITTLE CHUTE
- 2.) OUTAGAMIE COUNTY
- 3.) DEPARTMENT OF ADMINISTRATION

Dated this _____ day of _____, 2024.

By _____
Jeffrey T. Marlow

Title _____ Date _____

STATE OF WISCONSIN) _____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, the above named officer of said limited liability corporation to me known to be the person who executed the foregoing instrument and to me known to be such officer of said limited liability corporation, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability corporation, by its authority.

Notary Public,

Wisconsin

My commission expires_____

OWNER'S CERTIFICATE OF DEDICATION

Village of Little Chute, a municipal corporation duly organized and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said municipal corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Village of Little Chute does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1.) VILLAGE OF LITTLE CHUTE
- 2.) OUTAGAMIE COUNTY
- 3.) DEPARTMENT OF ADMINISTRATION

Dated this _____ day of _____, 2024.

By _____
Michael Vanden Berg, Village President

By _____
Laurie Decker, Village Clerk

STATE OF WISCONSIN) _____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, the above named _____ and _____ to me known to be the persons who executed the foregoing instrument and to me known to be such officers of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said municipal corporation, by its authority.

Notary Public,

Wisconsin

My commission expires_____

VILLAGE OF LITTLE CHUTE BOARD RESOLUTION

Resolved that this plat which has been duly filed for approval of the Village Board of Little Chute, Outagamie County, Wisconsin, be and is hereby approved. I hereby certify that this is a true and correct copy of a resolution adopted by the Village Board of Little Chute on the _____ day of _____, 2024.

Michael Vanden Berg
Village of Little Chute President

Laurie Decker
Village of Little Chute Clerk

VILLAGE OF LITTLE CHUTE TREASURER'S CERTIFICATE

I, being the duly appointed, qualified and acting Finance Director of the Village of Little Chute, do hereby certify that in accordance with the records in my office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

Lisa Remiker-Dewall
Village of Little Chute Finance Director

Date _____

OUTAGAMIE COUNTY TREASURER'S CERTIFICATE

As duly elected Outagamie County Treasurer, I hereby certify records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the date listed below.

Rochelle Oskey
Outagamie County Treasurer

Date _____

SURVEYOR'S CERTIFICATE

I, Troy E. Hewitt, Professional Land Surveyor, hereby certify that by the order and under the direction of the owners listed herein, I have surveyed, divided and mapped a parcel of land being all of Lot 3, Volume 45 of Certified Survey Maps, Page 7483, Map Number 7483, Document Number 2124292 (CSM 7483) and part of the Southwest 1/4 of the Northeast 1/4 and part of the Southeast 1/4 of the Northeast 1/4, all located in Section 8, Township 21 North, Range 18 East, Village of Little Chute, Outagamie County, Wisconsin more fully described as follows:

Commencing at the Northeast corner of said Section 8; thence S01°35'23"E, 1334.95 feet on the east line of said Northeast 1/4 to the northeast corner of said Southwest 1/4 of the Northeast 1/4, the POINT OF BEGINNING; thence continuing S01°35'23"E, 1011.94 feet on said east line to the northeast corner of land described in Document Number 2110584; thence N88°51'09"W, 210.00 feet on the north line of said lands to the northeast corner of land described in Document Number 1460795; thence continuing N88°51'09"W, 145.21 feet on the south line of said Southwest 1/4 of the Northeast 1/4 and continuing on the south line of said Southwest 1/4 of the Northeast 1/4 to the south right of way of Golden Gate Drive; thence 145.21 feet on the arc of a 260.00 foot radius curve to the left, having a long chord which bears N75°08'51"E, 143.33 feet on said south right of way; thence N59°08'51"E, 148.41 feet on said south right of way; thence 111.70 feet on the arc of a 200.00 foot radius curve to the right, having a long chord which bears N75°08'51"E, 110.25 feet on said south right of way; thence S88°51'09"E, 415.00 feet on said south right of way to the east right of way of said Golden Gate Drive; thence N00°54'07"W, 1172.68 feet on said east right of way and continuing on the east line of Lot 2 of said CSM 7483 to the northeast corner thereof; thence S89°17'50"E, 1668.14 feet on the north line of said Southwest 1/4 of the Northeast 1/4 and continuing on the north line of said Southwest 1/4 of the Northeast 1/4 to the Point of Beginning.

Said parcel contains 2,245,443 Square Feet (51.548 Acres) of land more or less. Subject to easements and restrictions of record.

That the within map is a true and correct representation of the exterior boundaries of the land surveyed and the division of that land and that I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes in the surveying, dividing and mapping of the same.

Troy E. Hewitt PLS #2831 Date _____
ROBERT E. LEE & ASSOCIATES, INC.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____



Department of Administration



Item For Consideration

Plan Commission

Plan Commission Meeting Date: 9/9/2024

Prepared On: 9/4/2024

Agenda Item Topic: **Site Plan – Evantra Apartments (Phase 1)**

Prepared By: Jessica Titel, Community Development Department

Applicants: Lexington Homes & Aaron Breitenfeldt, Robert E. Lee & Associates

Owner (s): Evantra, LLC

Address/Parcel #: Golden Gate Drive, Parcel #'s 260446904 and 260446905

Request: An application for Site Plan review has been submitted for the construction of 142 multi-family residential units, which will include (8) 14 unit buildings and (3) 10 unit buildings.

Zoning Classification: RM Multi-Family Residential

Project Summary/Background: Phase 1 of proposed Evantra multi-family development will occur on Lot 32 within the recently approved Mazzanti Estates Subdivision and is 13.79 acres in size. The 10-unit buildings will be 9,029 square feet and the 14-unit buildings will be 12,164 square feet. The development includes attached garages and surface parking to meet minimum zoning code requirements. Cross access easements and connections are provided to accommodate traffic circulation for future phases. There will be one access point off Golden Gate Drive for Phase 1.

Previous Action:

- May 13, 2024 – Plan Commission recommended approval of the Preliminary Plat for Mazzanti Estates. A public hearing was also held regarding this item.
- June 5, 2024 – Village Board adopted Resolution No. 9, Series of 2024 approving the Mazzanti Estates preliminary plat.
- June 10, 2024 – Plan Commission recommended approval of the proposed rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.



Item For Consideration

Plan Commission

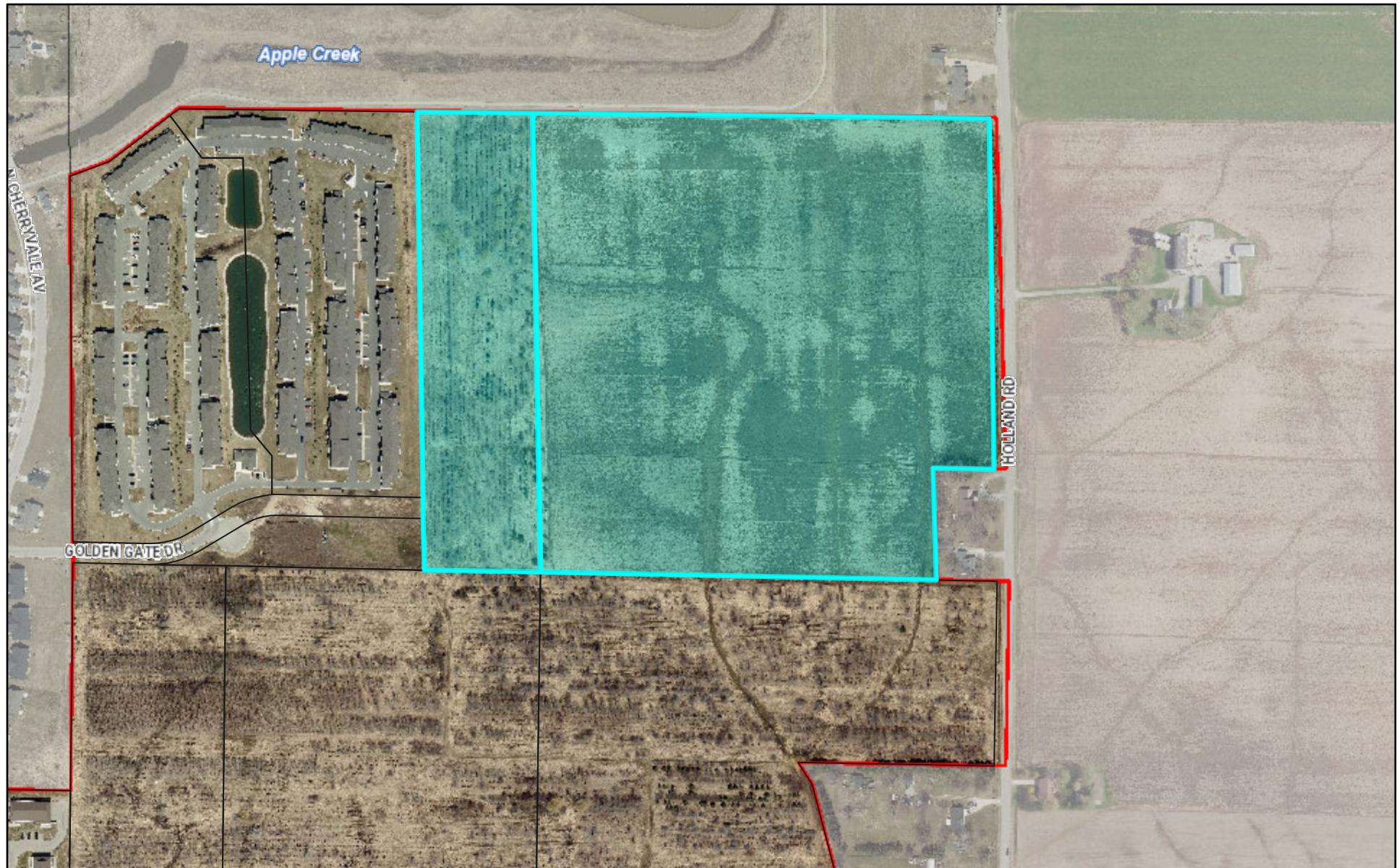
- July 17, 2024 – Village Board approved and adopted ordinances for the rezoning and Comprehensive Plan Future Land Use Map amendment for subject properties. A public hearing was also held regarding these items.

The applicant is proposing a private well for the subject property. The well is planned to be used for irrigation purposes and to maintain the water level in the pond. The Utility Commission has jurisdiction in reviewing/approving new private wells. Staff is recommending that any water used on site should be metered/billed through the public water utility and the Plan Commission not support the installation of a new private for this development.

Recommendation/Board Action: Staff is recommending approval of the Site Plan for Phase 1 of the Evantra multi-family development to the Village Board, subject to the satisfaction of all staff comments.

Respectfully Submitted,
Jessica Titel, Community Development Director

Site Plan Review - Evantra Multi-Family Development (Phase 1)



9/4/2024, 12:30:37 PM

Parcels

1:4,800
0 0.04 0.08 0.16 mi
0 0.05 0.1 0.2 km

Outagamie County, Village of Little Chute, REL & Associates, Inc.

Village of Little Chute
Robert E. Lee & Associates, Inc., Outagamie County

**VILLAGE OF LITTLE CHUTE
SITE PLAN REVIEW APPLICATION**

PLEASE SUBMIT 4 FULLSIZE AND 4 (11 X 17) SETS OF DRAWINGS ALONG WITH THIS APPLICATION AND COMPLETED CHECKLIST

SITE ADDRESS 2000 Golden Gate Drive

LEGAL DESCRIPTION LOT 32 OF MAZZANTI ESTATES

PROPERTY OWNER(S) EVANTRA, LLC TELEPHONE (920) 662-1611

ADDRESS/ZIP 1056 CENTENNIAL LANE, HOBART, WI 54155 FAX -

APPLICANT ROBERT E. LEE & ASSOCIATES, INC - Aaron BRETTENBACH

CHECK: Architect Engineer Surveyor Attorney Agent Other

ADDRESS 1050 CENTENNIAL LANE, HOBART, WI TELEPHONE (920) 662-9641

CITY/ZIP HOBART, WI 54155 FAX -

DESCRIBE IN DETAIL THE TYPE OF BUSINESS BEING PROPOSED AND/OR USE OF PROPERTY -

THE proposed project involves the construction of 14-unit multi-family development, including (2) 14-unit buildings and (3) 10-unit buildings

GROUND FLOOR ELEVATION VANIES LOT SIZE 13.79 AC FLOOR AREA 123,933 SF TOTAL

NUMBER OF STORIES IN BLDG 2 BASEMENT - YES X NO BUILDING HEIGHT 32'

TOTAL CURRENT EMPLOYEES n/a EMPLOYEES ADDED BY EXPANSION n/a

IMPERVIOUS SURFACE COVERAGE SQ. FT 344,958 SF # OF PARKING SPACES 400

I CERTIFY THE ATTACHED DRAWINGS ARE, TO THE BEST OF MY KNOWLEDGE, COMPLETE AND DRAWN IN ACCORDANCE WITH ALL APPLICABLE CODES.

APPLICANT SIGNATURE Aaron Brett

DATE 8/15/2014

44-387(f)	Site plan review fee	\$500.00
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NOTE: BUILDING DESIGN PLANS: TWO SETS OF FLOOR PLANS ALSO NEED TO BE SUBMITTED.

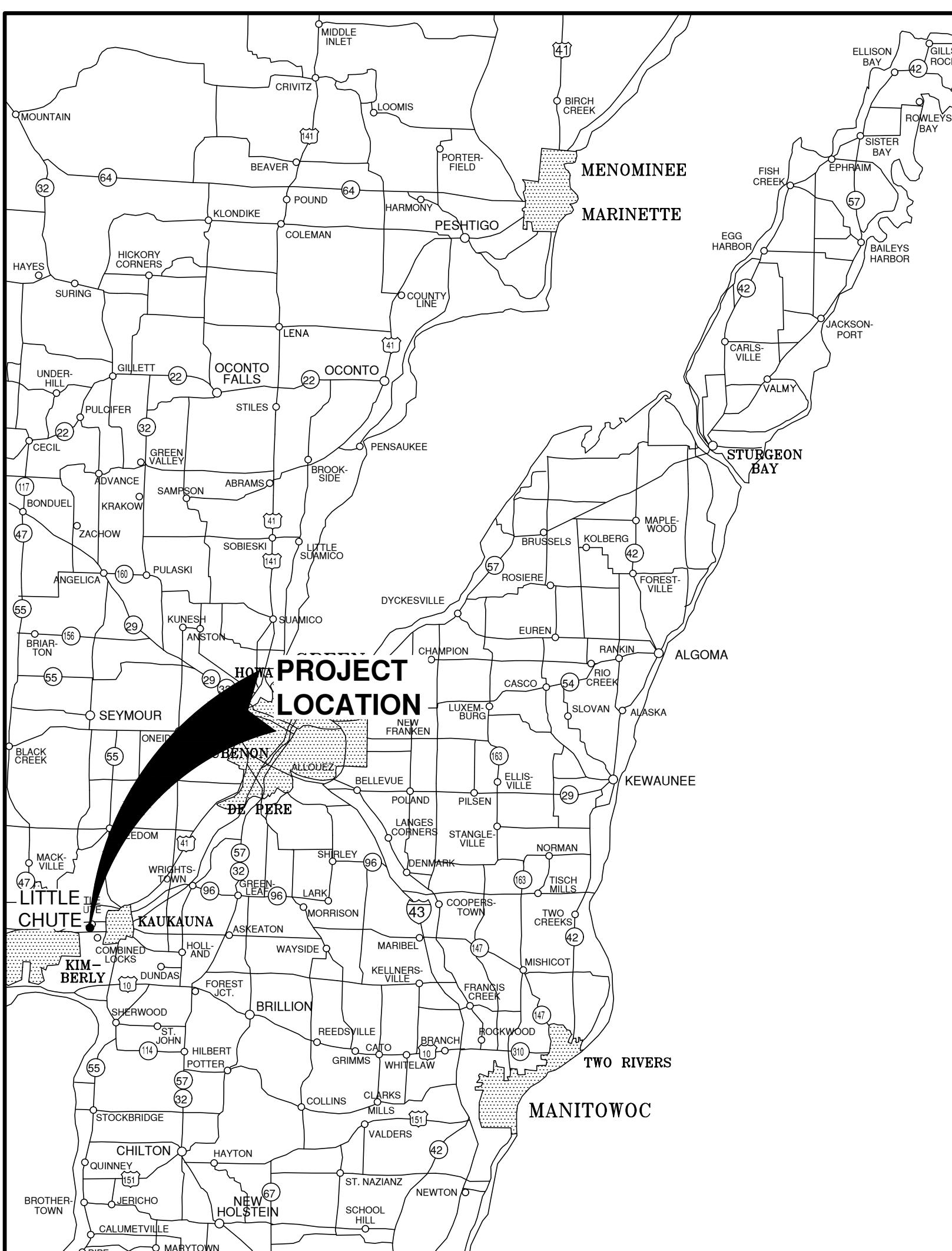
Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC.



Alvar Bruegel

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



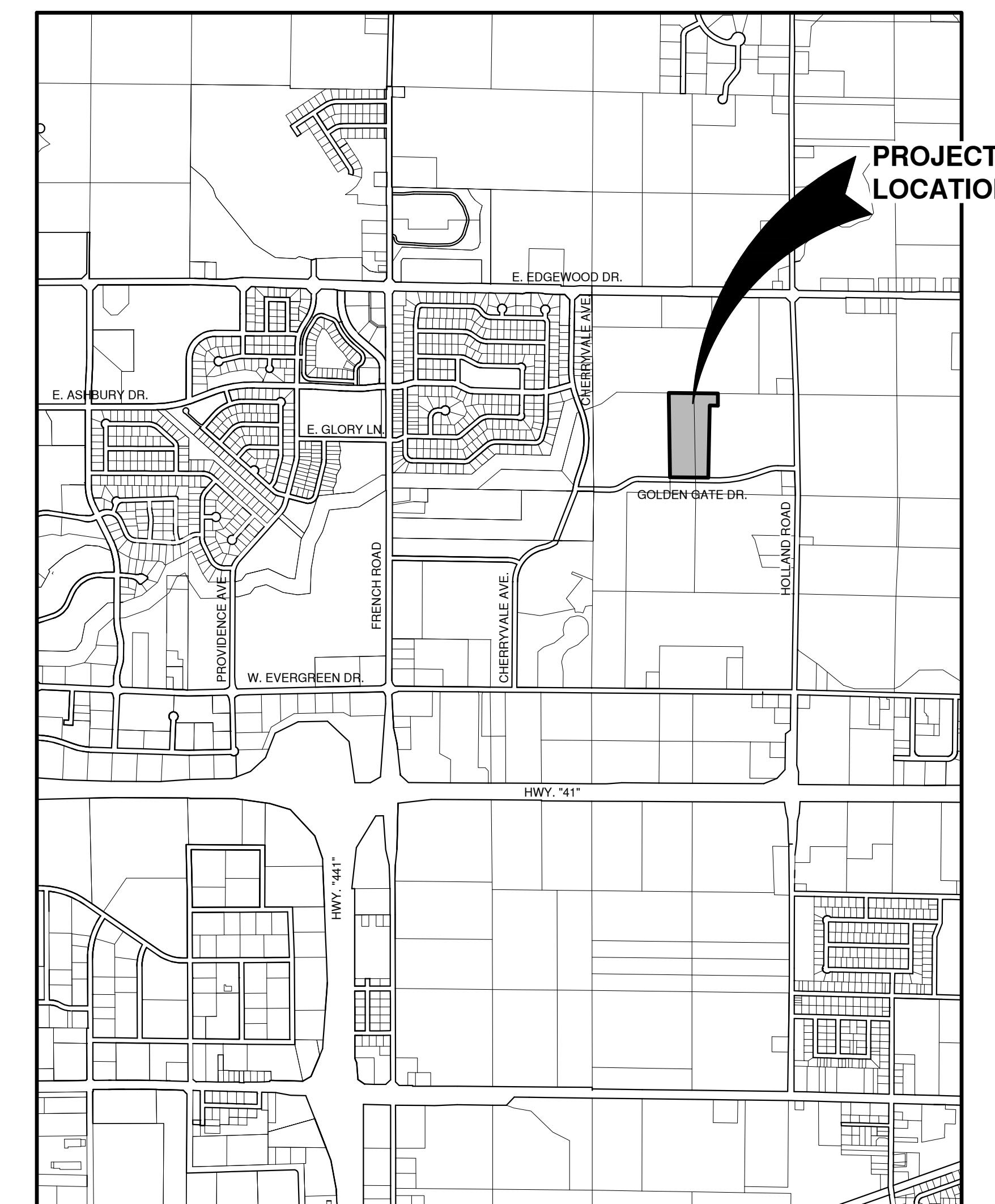
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION

NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	OVERALL SITE PLAN
4	SOUTH SITE PLAN
5	NORTH SITE PLAN
6	OVERALL UTILITY PLAN
7	SOUTH UTILITY PLAN
8	NORTH UTILITY PLAN
9	OVERALL GRADING AND EROSION CONTROL PLAN
10	SOUTH GRADING PLAN
11	NORTH GRADING PLAN
12	POND PLAN AND DETAILS
13	POND SECTIONS
14	METER ROOM - PLAN, SECTION AND DETAILS
15	METER ROOM - SCHEMATIC DRAWING OF MASTER METER
16	MISCELLANEOUS DETAILS
17	MISCELLANEOUS DETAILS
18	MISCELLANEOUS DETAILS
19	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
20	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
21	EROSION CONTROL - DITCH CHECK DETAILS
22	EROSION CONTROL - SHEET FLOW DETAILS
23	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
24	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
25	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	DATE 04/24	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	LOCATION MAPS	HEET NO C
			E					CHECKED		 Robert E. Lee & Associates, Inc.		
								FILE				

								432961-EVANTRA				
								DESIGNED				
								AJB				
								JOB NO				
								432961				

LEGEND

OWNER/CONTRACTOR INFORMATION:

LEXINGTON HOMES, INC.
1256 CENTENNIAL CENTRE BLVD.
HOBART, WI 54155

(920) 662-1611

CONTACT: JEFF MARLOW

UTILITY INFORMATION:

UTILITIES PRESENT:
VILLAGE OF LITTLE CHUTE DEPT. OF PUBLIC WORKS, CITY OF APPLETON DEPT. OF PUBLIC WORKS, WE ENERGIES, AND AT & T.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBERS 20191811692 AND 20191811695, DATED 05/10/2019, VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS
VILLAGE OF LITTLE CHUTE
108 WEST MAIN STREET
LITTLE CHUTE, WI 54140

(920) 423-3865

WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS
CITY OF APPLETON
100 N. APPLETON ST.
APPLETON, WI 54914

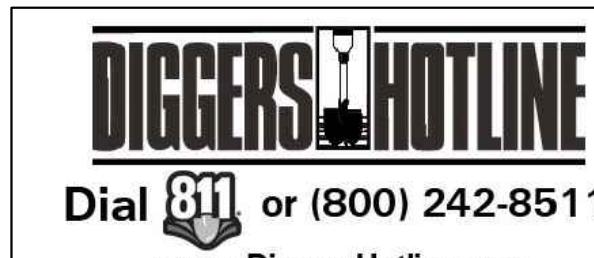
(920) 832-6474

GAS & ELECTRIC:
WE ENERGIES
800 S. LYNNDALE DR.
APPLETON, WI 54914

(800) 242-9137

TELECOMMUNICATIONS:
AT & T / SBC
205 S. JEFFERSON ST.
GREEN BAY, WI 54301

(920) 433-4147



TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

○ FIRE HYDRANT
⊗ WATER VALVE
○ CURB STOP
Ⓐ WATER MANHOLE
▽ REDUCER/INCREASER
○ SANITARY MANHOLE
● AIR RELIEF MANHOLE
○ STORM MANHOLE
○ STORM INLET (NOT IN CURB AND GUTTER)
■ STORM INLET (IN CURB AND GUTTER)
○ STORM INLET MANHOLE
○ TANK COVER
⊕_{SB} SOIL BORING
■ POST
● IRON PIPE/ROD
△ PK NAIL

□ POWER POLE
□ POWER POLE W/GUY WIRE
□ LIGHT POLE
□ TRAFFIC SIGNAL POLE
○ ELECTRIC MANHOLE
□ ELECTRIC METER
○ TELEPHONE MANHOLE
□ TELEPHONE PEDESTAL
○ CABLE TV MANHOLE
□ CABLE TV PEDESTAL
○ GAS VALVE
□ GAS METER
□ MAILBOX
△ SIGN
○ BOLLARD

DECIDUOUS TREE
CONIFEROUS TREE
BUSH
RIP RAP
CULVERT
WETLANDS
HANDICAP PARKING
X TO BE REMOVED
TO BE DEMOLISHED

EDGE OF ASPHALT
EDGE OF GRAVEL
CURB & GUTTER
TREE/BRUSH LINE
-750- CONTOUR LINE
RETAINING WALL
GUARD RAIL
FENCE

8SS 8SS SANITARY SEWER (SIZE NOTED)
4FM 4FM FORCemain (SIZE NOTED)
10ST 10ST STORM SEWER (SIZE NOTED)
6W 6W 6W WATERMAIN (SIZE NOTED)
G G GAS LINE
OT OT OVERHEAD TELEPHONE LINE
T T UNDERGROUND TELEPHONE LINE
OE OE OVERHEAD ELECTRIC LINE
E E UNDERGROUND ELECTRIC LINE
OTV OTV OVERHEAD CABLE TV LINE
TV TV CABLE TV LINE
FO FO FIBER OPTIC LINE
R/W R/W LINE
PROPERTY LINE
EASEMENT LINE
BUILDING SETBACK LINE
SECTION LINE

GR.	GRAVEL	WM.	WATERMAIN	VPC	VERTICAL POINT OF CURVATURE	B-B	BACK TO BACK (OF CURB)
BIT.	BITUMINOUS	HYD.	HYDRANT	VPI	VERTICAL POINT OF INTERSECTION	F-F	FACE TO FACE (OF CURB)
ASPH.	ASPHALT	WV.	WATER VALVE	VPT	VERTICAL POINT OF TANGENCY	R/W	RIGHT OF WAY
CONC.	CONCRETE	SAN.	SANITARY SEWER	PC	POINT OF CURVATURE	T/C	TOP OF CURB
SW.	SIDEWALK	MH.	MANHOLE	PI	POINT OF INTERSECTION	F/L	FLOW LINE
BLDG.	BUILDING	ST.	STORM SEWER	PT	POINT OF TANGENCY	C/L	CENTERLINE
HSE.	HOUSE	CB.	CATCH BASIN	R	RADIUS	R/L	REFERENCE LINE
PED.	PEDESTAL	TELE.	TELEPHONE	EX	EXISTING	INV	INVERT
PP.	POWER POLE	ELEC.	ELECTRIC	PR	PROPOSED	CMP	CORRUGATED METAL PIPE
LP.	LIGHT POLE	TV.	TELEVISION	EOR	END OF RADIUS	RCP	REINFORCED CONCRETE PIPE
BM.	BENCH MARK	STA.	STATION	BOC	BACK OF CURB	CULV	CULVERT

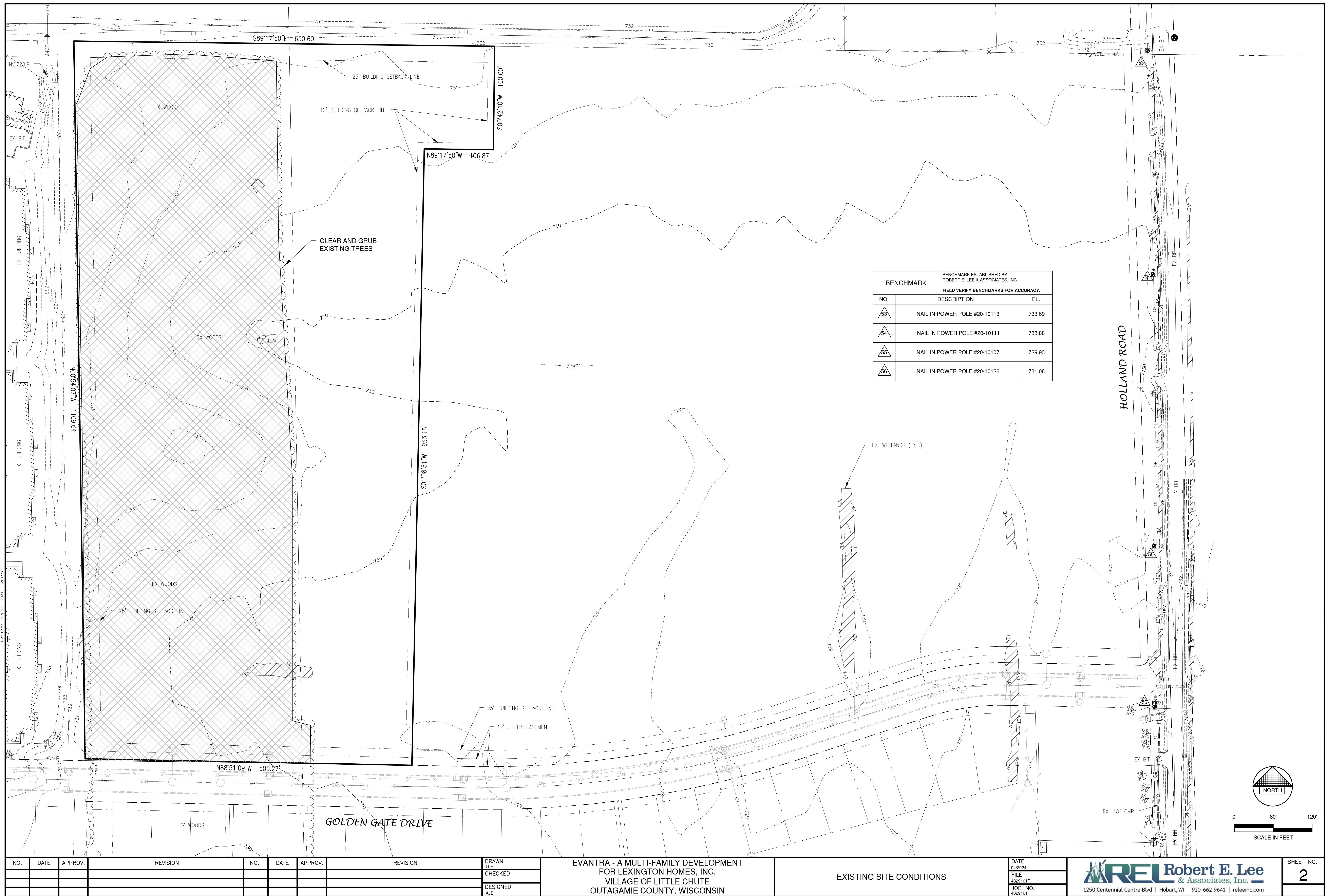
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP
								CHECKED
								DESIGNED AJB

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

GENERAL NOTES

DATE
04/2024
FILE
4329161T
JOB NO.
4329161

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releeinc.com



NO.	DATE	APPROV.

**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

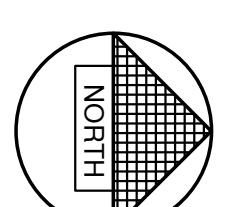
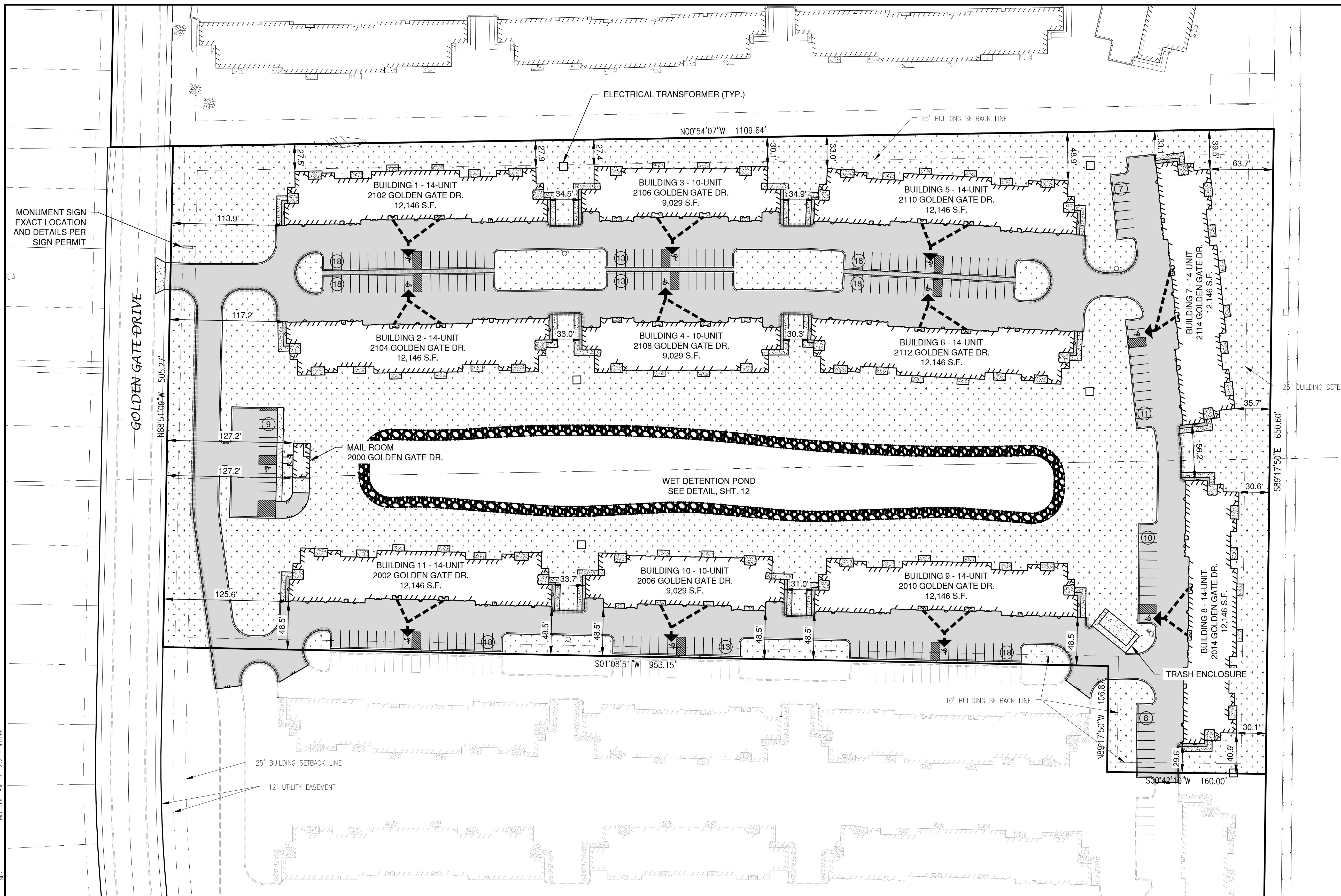
EXISTING SITE CONDITIONS

DATE
04/2024
FILE
4329161T
JOB NO.
4329161



REI Robert E. Lee
& Associates, Inc.

SHEET NO
2



A horizontal scale bar representing 100 feet. It features a thick black line at the bottom and a thinner black line above it, with a white gap between them. Above the scale bar, the text '0'' is on the left, '50'' is in the middle, and '100'' is on the right.

NO.	DATE	APPROV.

REVISION

	NO.	DATE	APPROV.

REVISION

	DRAWN LLP
	CHECKED ----
	DESIGNED A.D.

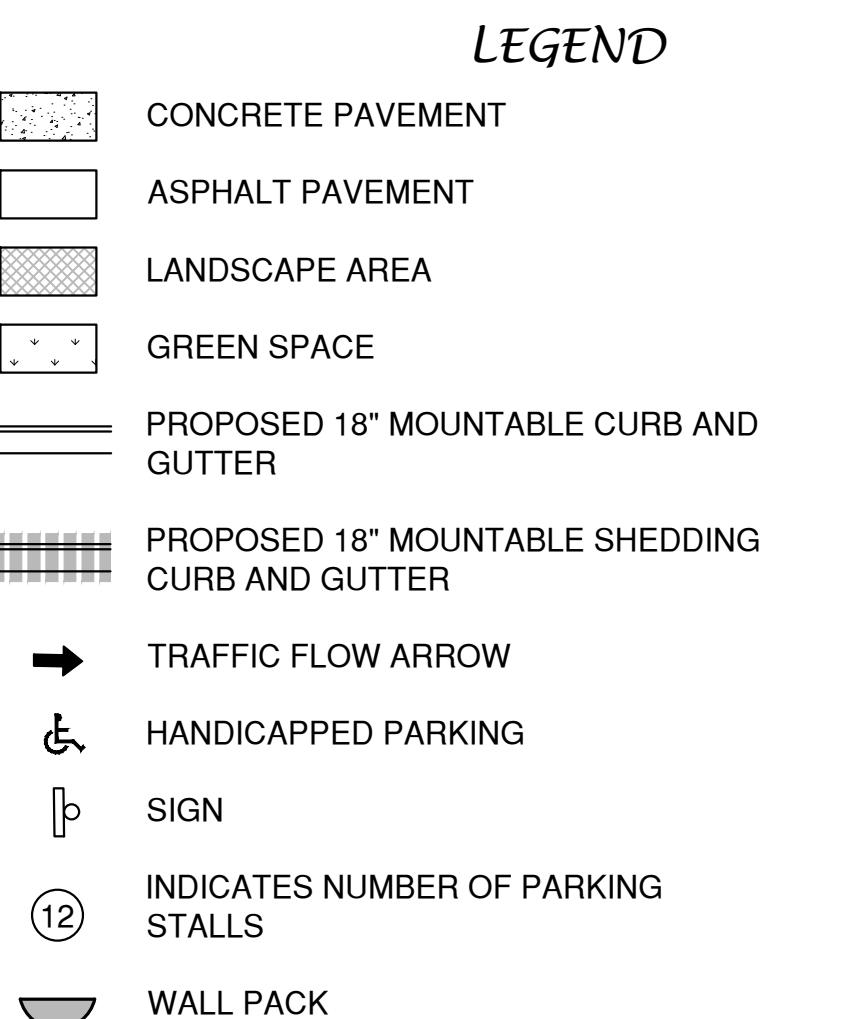
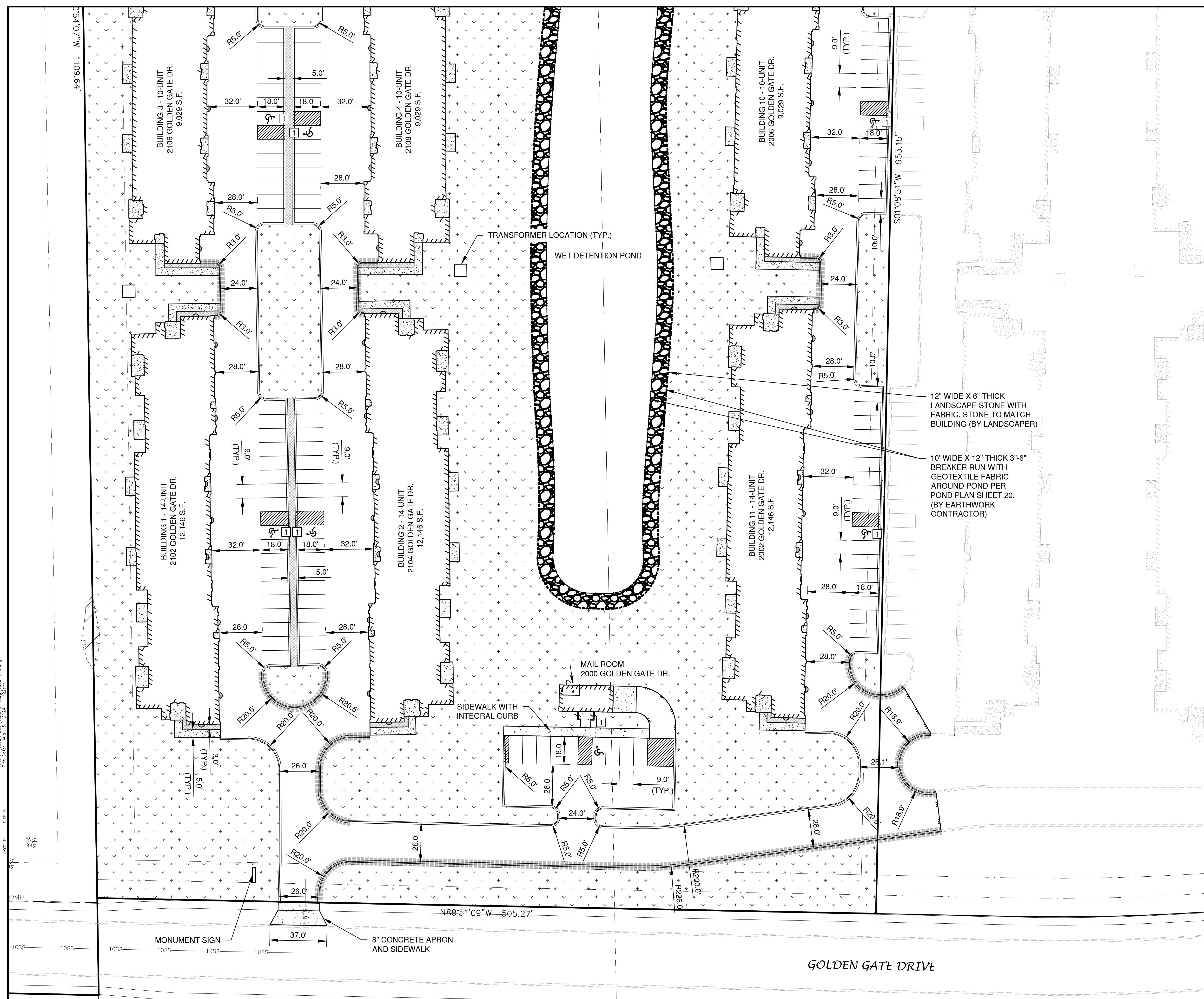
**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

OVERALL SITE PL

DATE	07/2024
FILE	4329161 OVERALL
JOB NO.	10000001

 **RELI** Robert E. Lee
& Associates, Inc. releeinc.com
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641

SHEET NO. 3

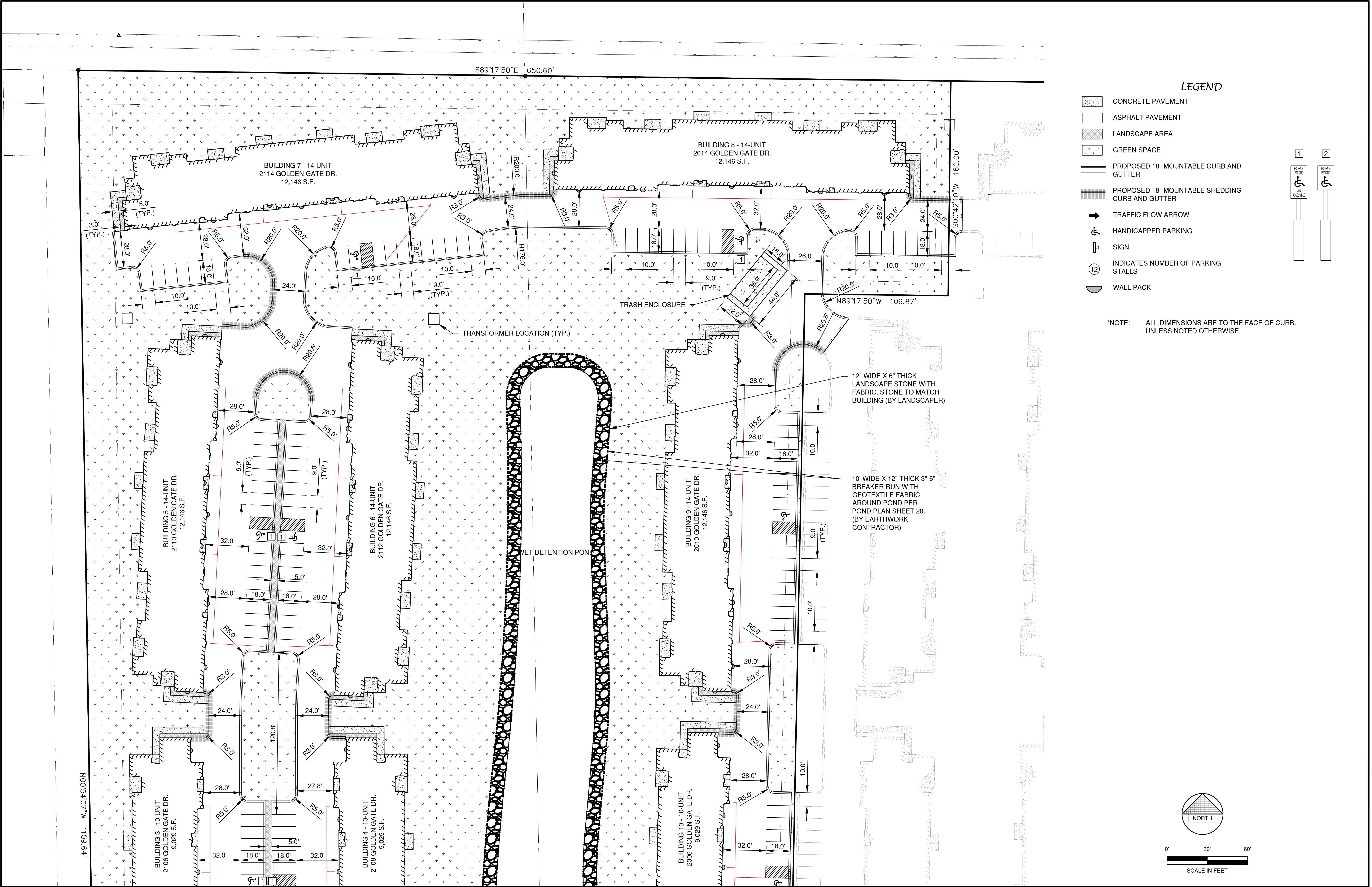


*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB,
UNLESS NOTED OTHERWISE

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP CHECKED DESIGNED AJB	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN		DATE 06/2024 FILE 4329161D JOB NO. 4329161	SHEET NO. 4
									SOUTH SITE PLAN			

Path: R:\4300\4329\4329161\dwg\4329161.D.dwg
Date: Aug 15, 2024 - 1:22pm

SITE N
AYOUT:



NO.	DATE	APPROV.

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REVISION

	NO.	DATE

APPROV.	

REVISION

DRAWN LLP	EVANTRA - A MULTI-FAMILY DEVELOPME FOR LEXINGTON HOMES, INC.
CHECKED ---	VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN
DESIGNED AJB	

NORTH SITE PLAN

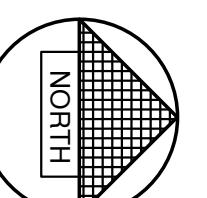
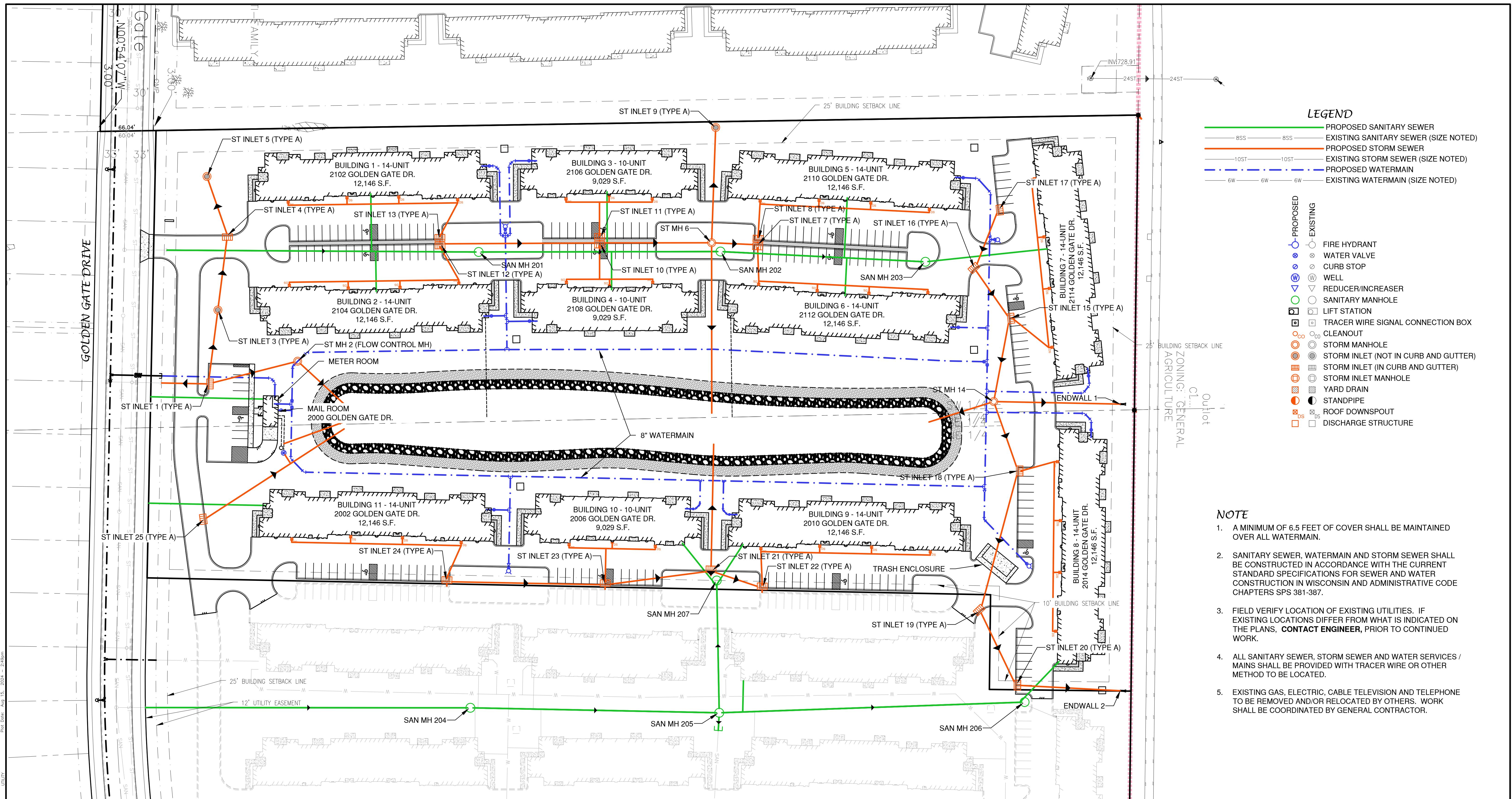
$$\boxed{A^T = -A}$$

DATE
06/2024
FILE
4329161D
JOB NO.
4329161

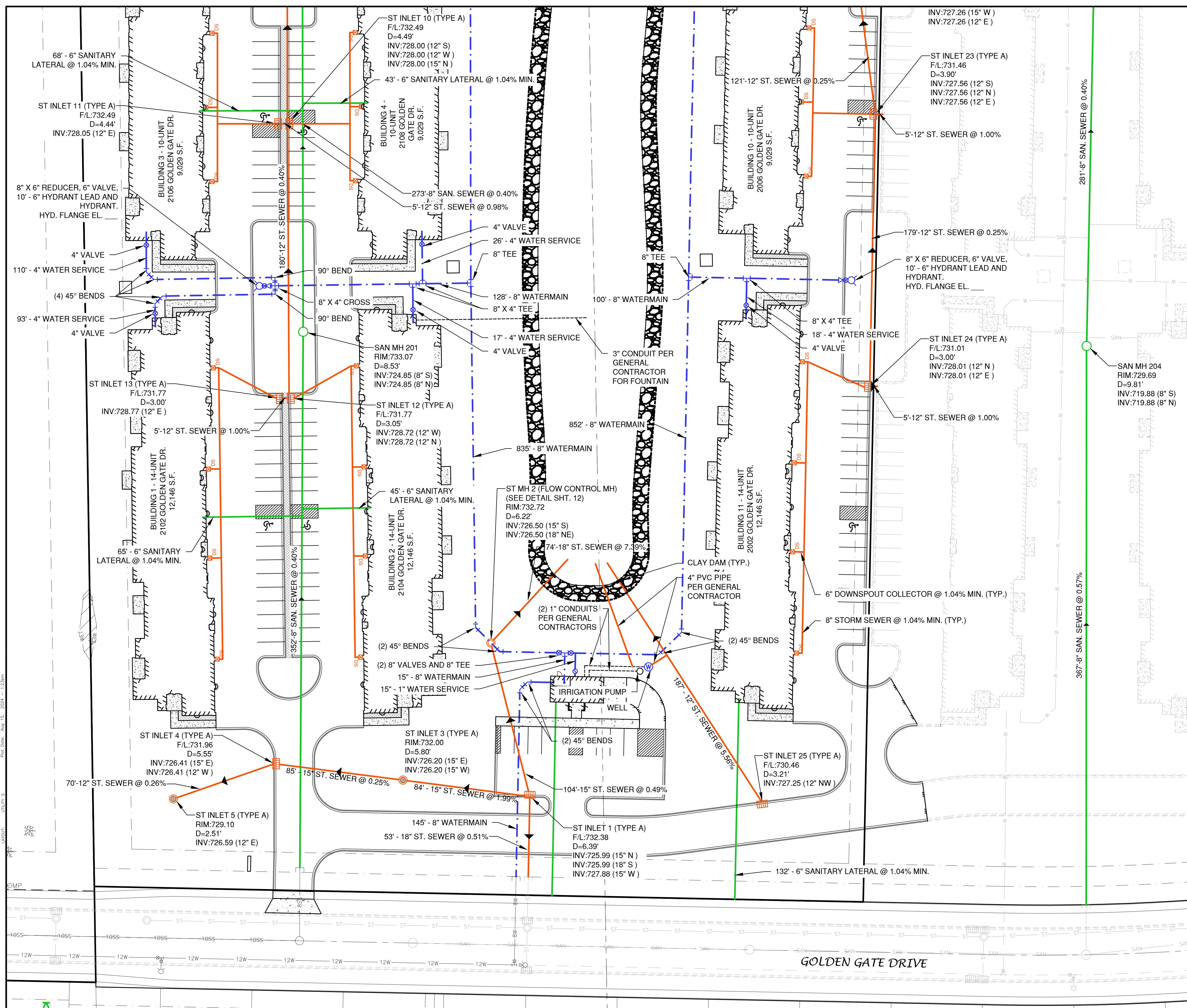


Robert E. Lee
& Associates, Inc. 

SHEET NO
5



A horizontal scale bar divided into three segments. The first segment is black and labeled '0' at its left end. The second segment is white and labeled '50'' at its left end. The third segment is black and labeled '100'' at its left end. Below the scale bar, the text 'SCALE IN FEET' is centered.



SAN SAN SAN *GOLDEN GATE DRIV*

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

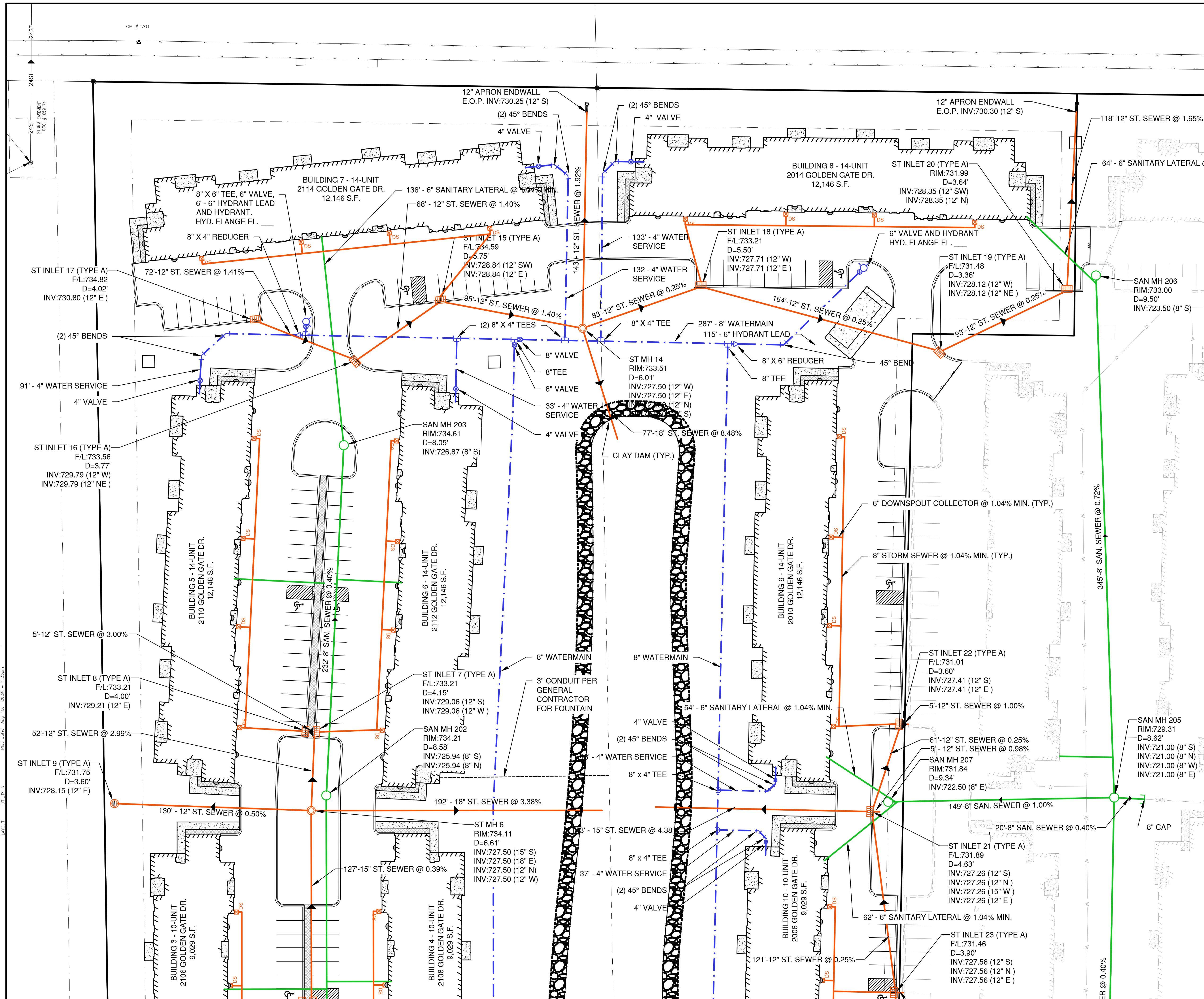
**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

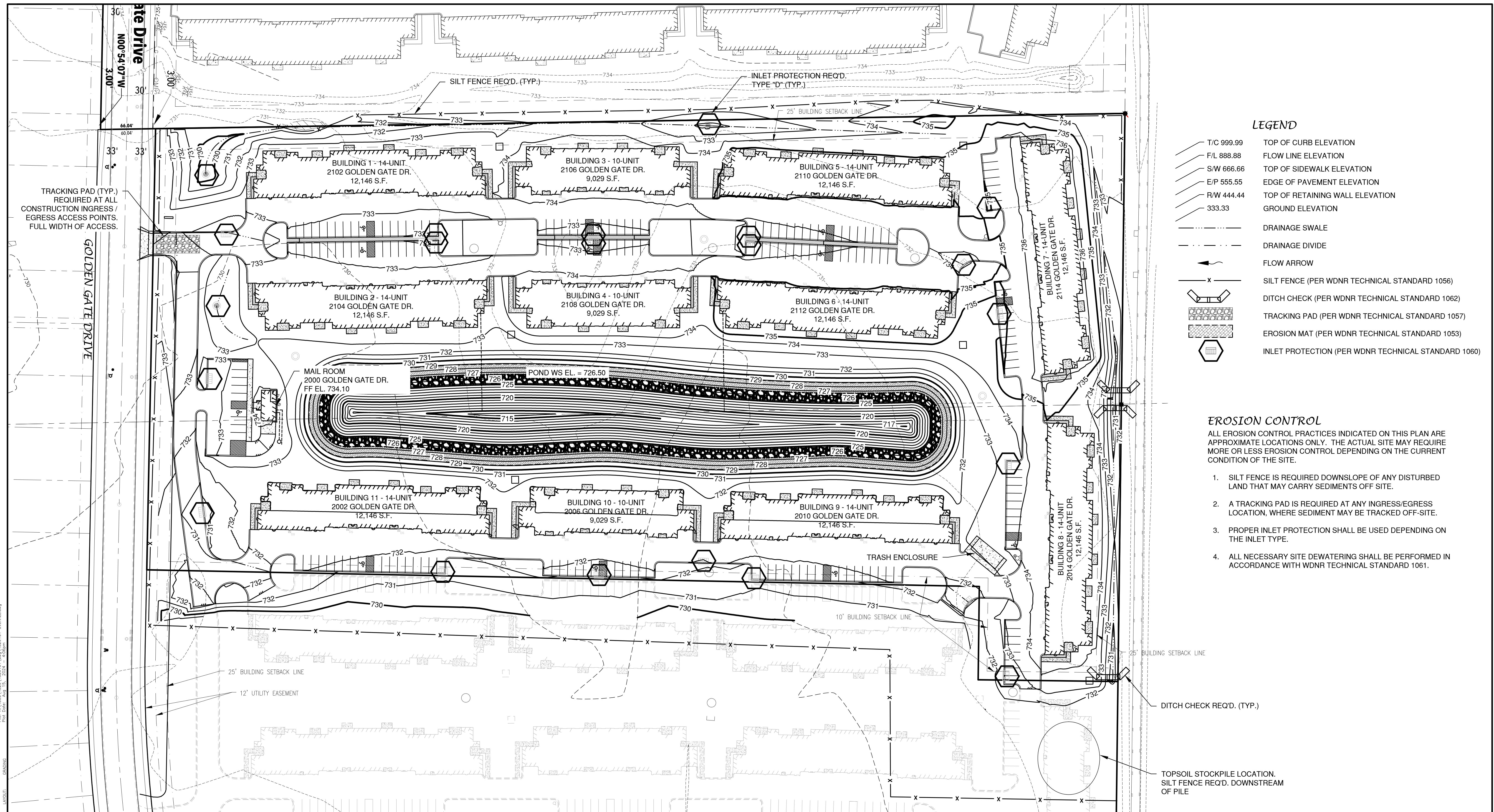
SOUTH UTILITY PL

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29161

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& Associates, Inc.

SHEET NO. 7





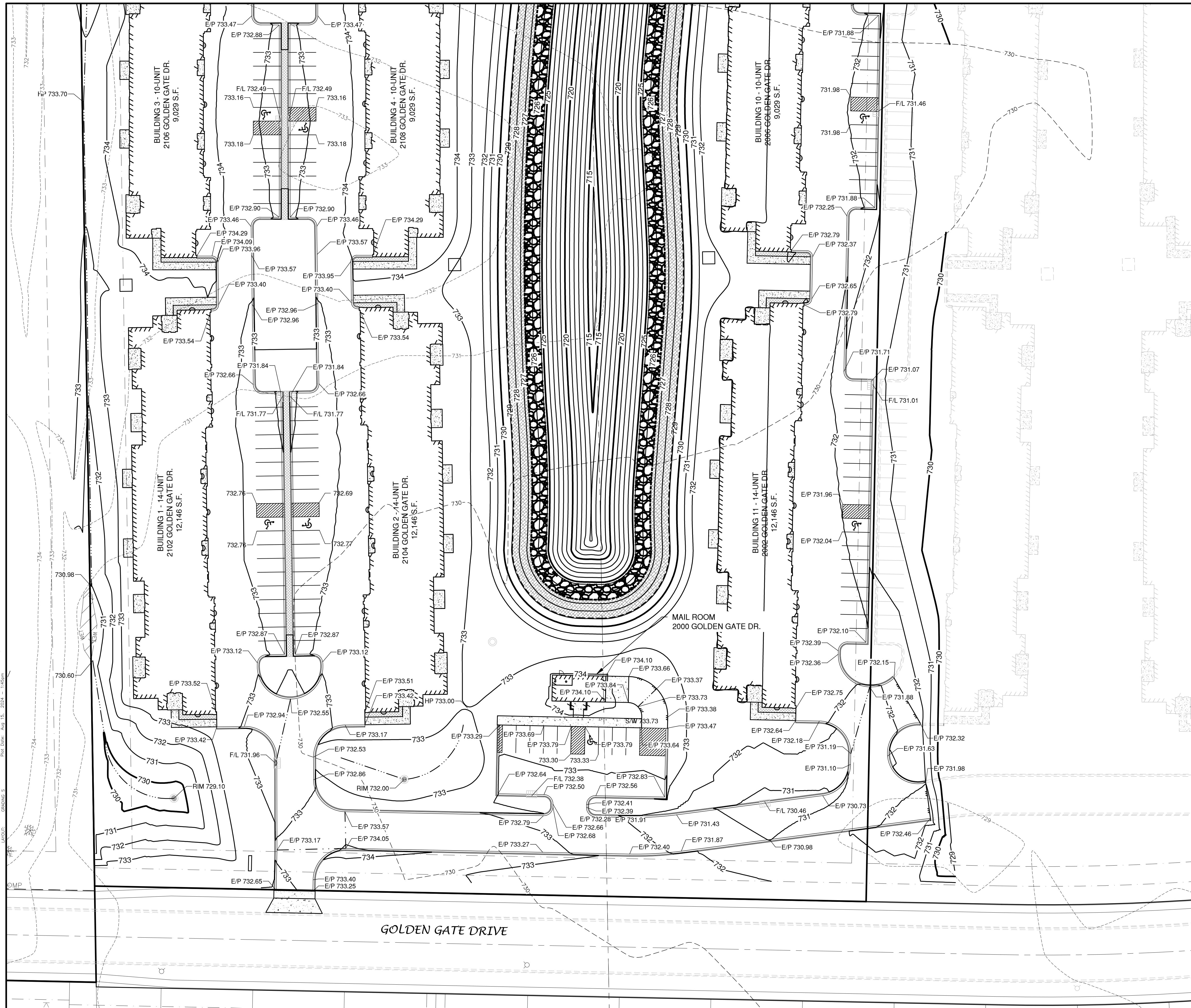
CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL BMP'S SUCH AS SILT FENCE, INLET PROTECTION, AND TRACKING CONTROL PADS PRIOR TO ANY SITE DISTURBANCE.
2. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE OR DISPOSE OF AS NEEDED. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF ANY TOPSOIL STOCK PILES THAT WILL REMAIN IN PLACE LONGER THAN 7 DAYS.
3. BEGIN SITE EXCAVATION, FILLING, AND ROUGH GRADING TO ACCOMMODATE PROPOSED FACILITIES. TOPSOIL, SEED, AND E-MAT ALL POND AND SWALE SLOPES AS SOON AS PRACTICAL TO PREVENT EROSION.
4. INSTALL STORM SEWER AND ALL NECESSARY UTILITIES.
5. BEGIN BUILDING AND PARKING LOT CONSTRUCTION.
6. TOPSOIL, SEED, AND MULCH TO STABILIZE ALL REMAINING DISTURBED AREAS.
7. ONCE SITE VEGETATION HAS REACHED 70%, ALL EROSION CONTROL BMP'S MAY BE REMOVED

**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

OVERALL GRADING AND EROSION CONTROL PLAN

The logo for REI Robert E. Lee & Associates, Inc. It features a stylized green 'R' and 'E' with a grass-like graphic to the left. To the right of the 'R' and 'E' is the company name 'Robert E. Lee & Associates, Inc.' in a serif font. Below the company name is the address '1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releei.com'.



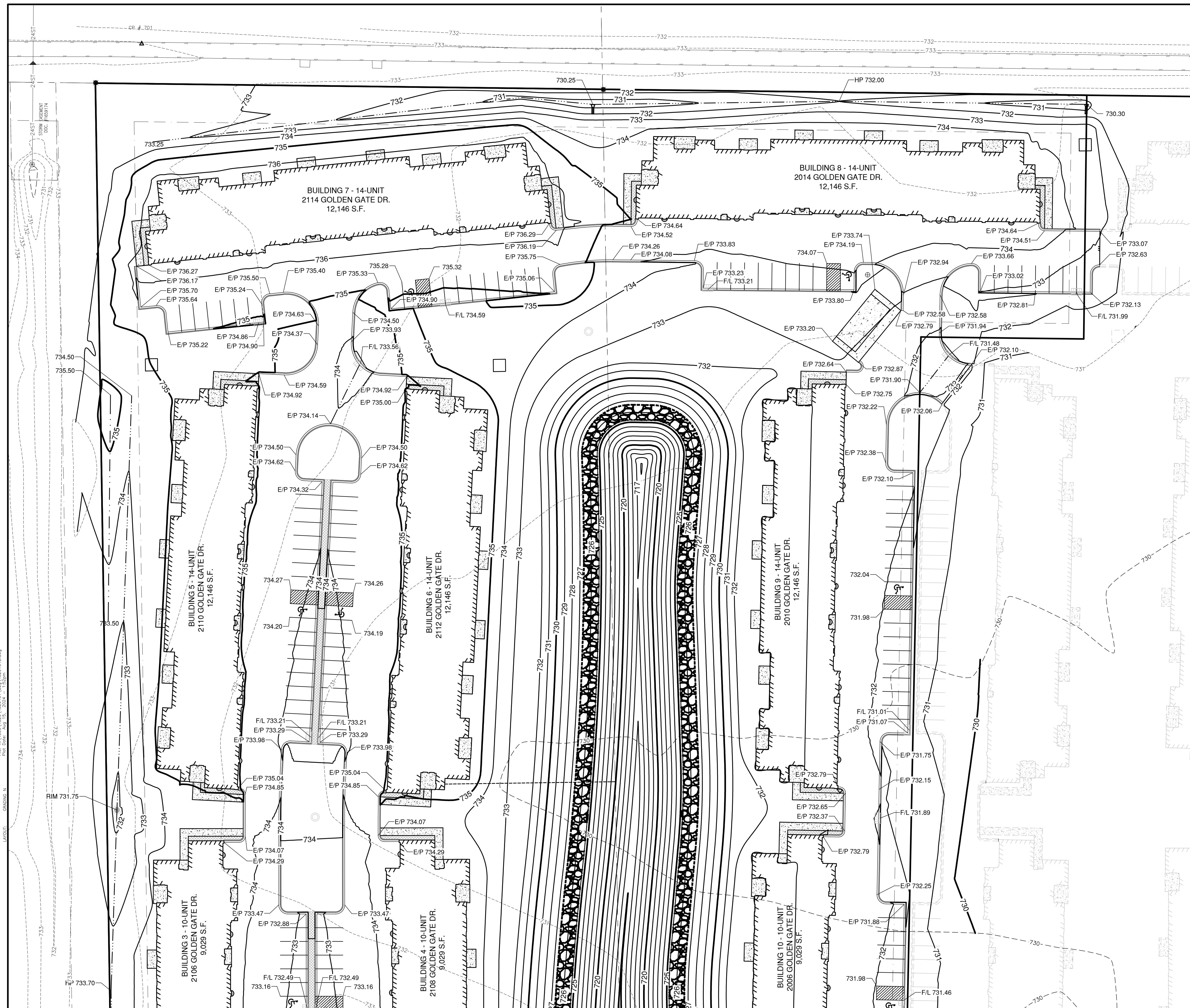
NO.	DATE	APPROV.

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

SOUTH GRADING PLAN

 **REI** Robert E. Lee
& Associates, Inc. 

SHEET NO.
10



NO.	DATE	APPROV.

REVISION

NO.	DATE	APPROV.
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EVANTRA - A M

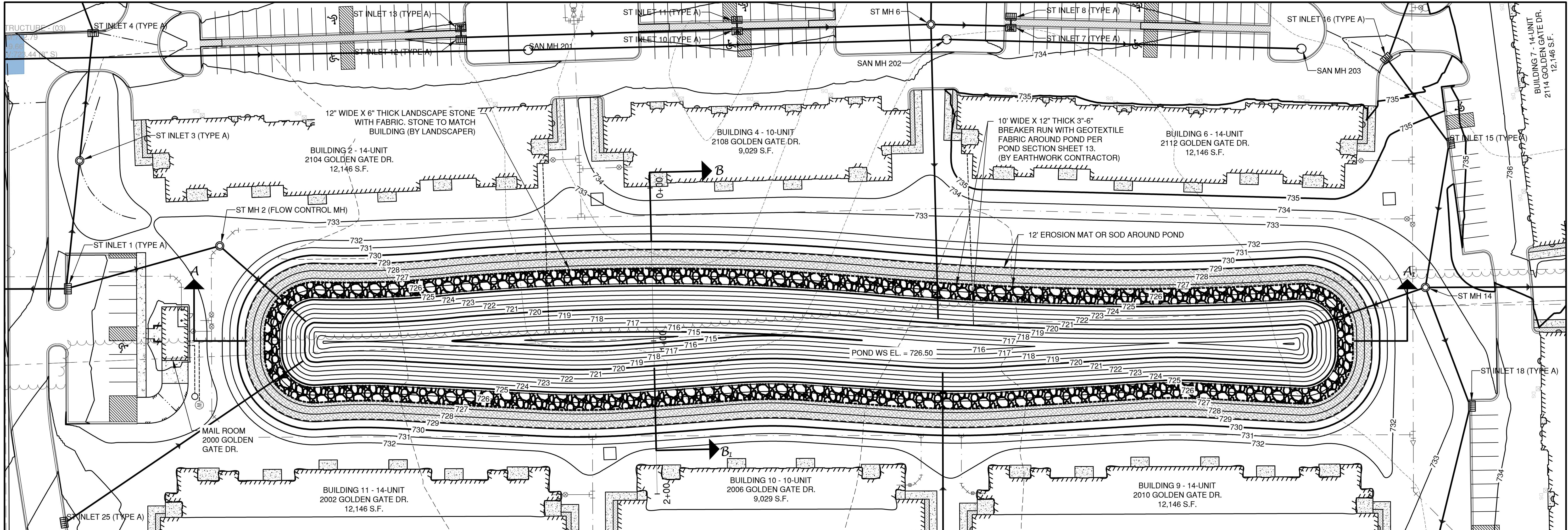
INTER-FAMILY DEVELOPMENT

Page 1 of 1

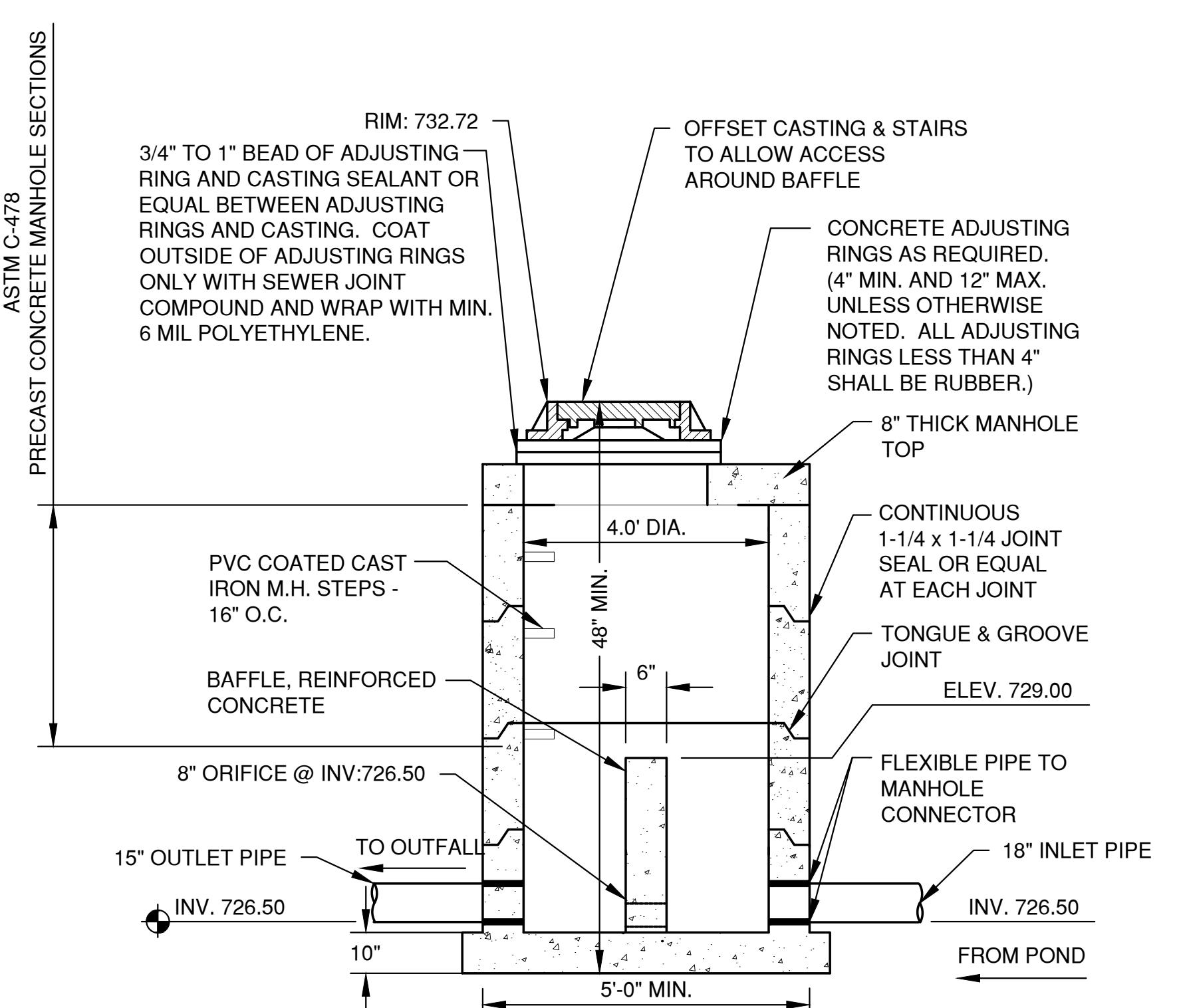
DATE

 **REI** Robert E. Lee
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SHEET NO
11

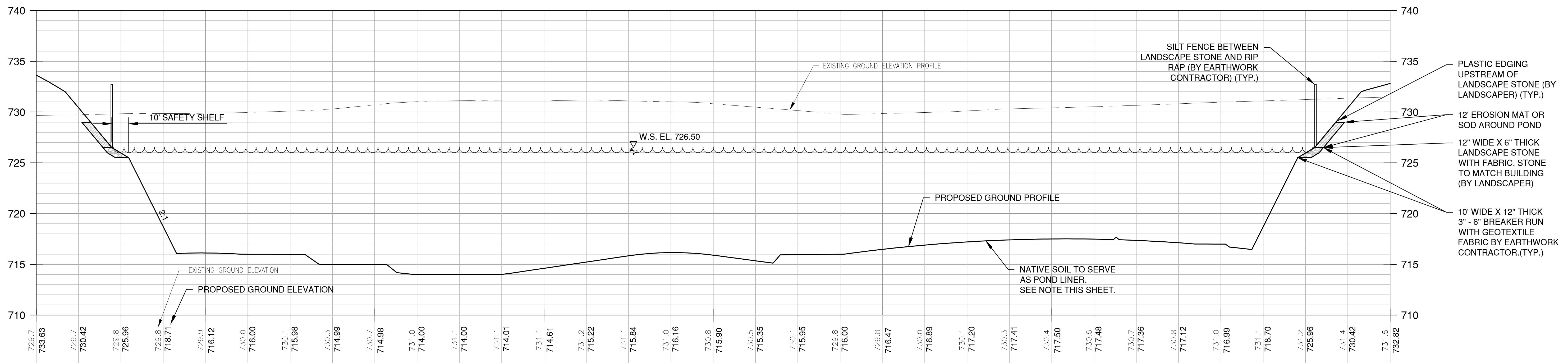


Plot Date: Aug 15, 2015 08:20:49
Plot Date: Aug 15, 2015 08:20:49
Plot Date: Aug 15, 2015 08:20:49



DISCHARGE CONTROL STRUCTURE

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP CHECKED ... DESIGNED AJB	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN		DATE 08/20/24 FILE 4329161 POND MFW JOB NO. 4329161	POND PLAN AND DETAILS		SHEET NO. 12



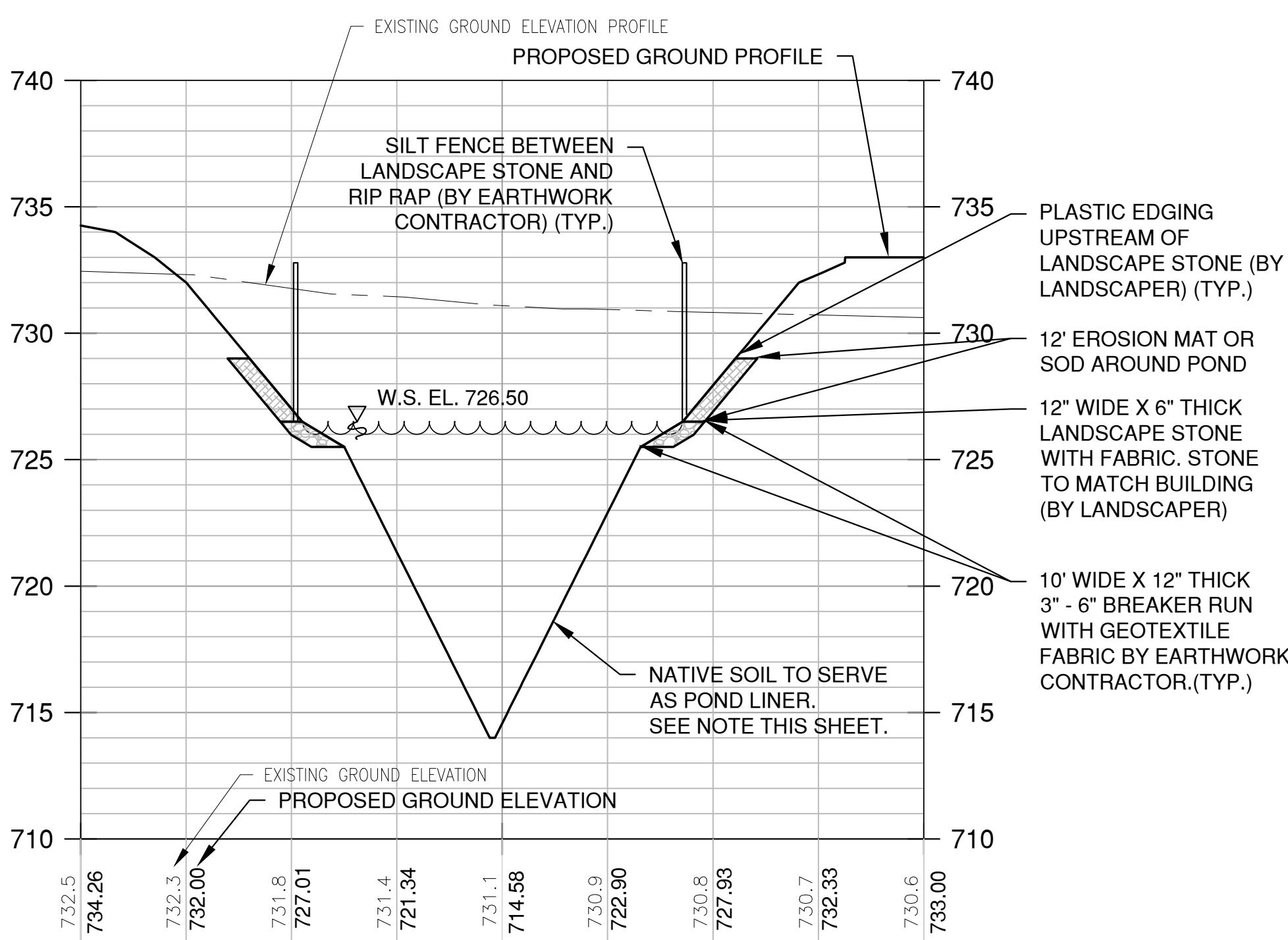
SECTION A-A₁

HORIZ. SCALE: 1" = 30'
VERT. SCALE: 1" = 5'

POND CONSTRUCTION NOTE

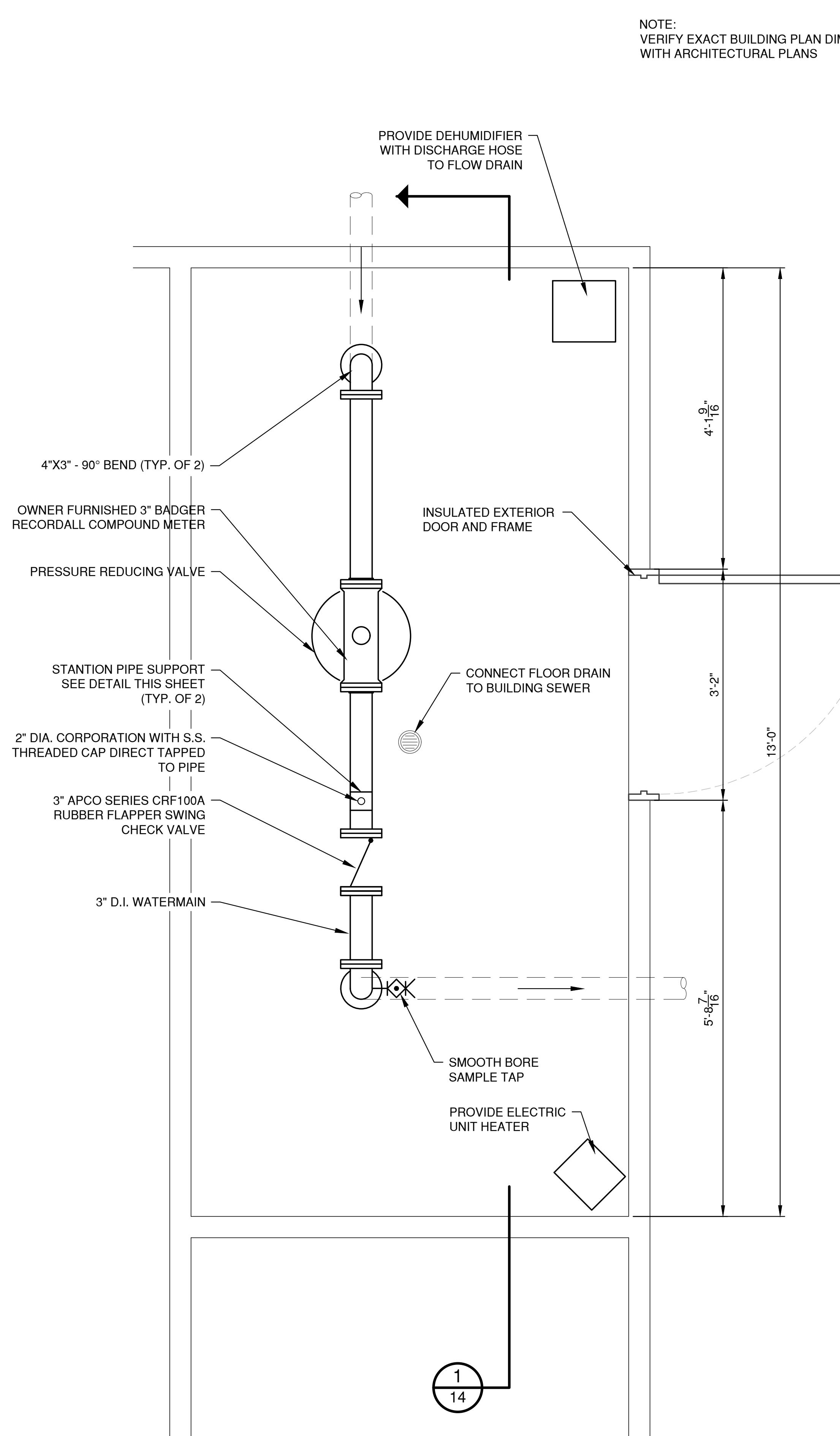
CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF 1×10^{-7} cm/sec OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WDNR TECHNICAL STANDARD 1001.

PROVIDE ALTERNATE BID FOR IMPORTED CLAY LINER IF ONSITE SOILS ARE UNSUITABLE FOR LINER



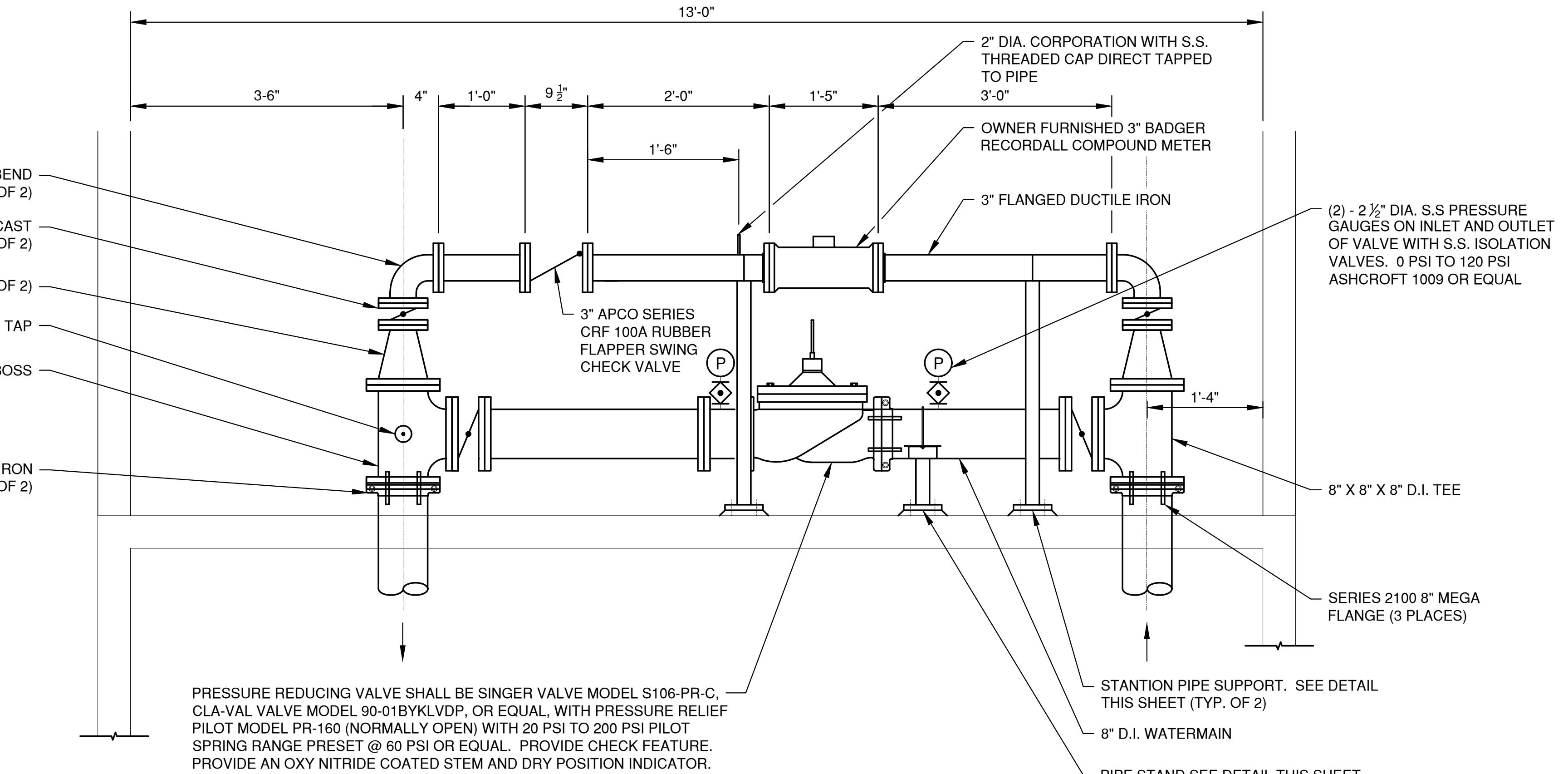
SECTION B-B₁

HORIZ. SCALE: 1" = 30'
VERT. SCALE: 1" = 5'



METER ROOM PLAN

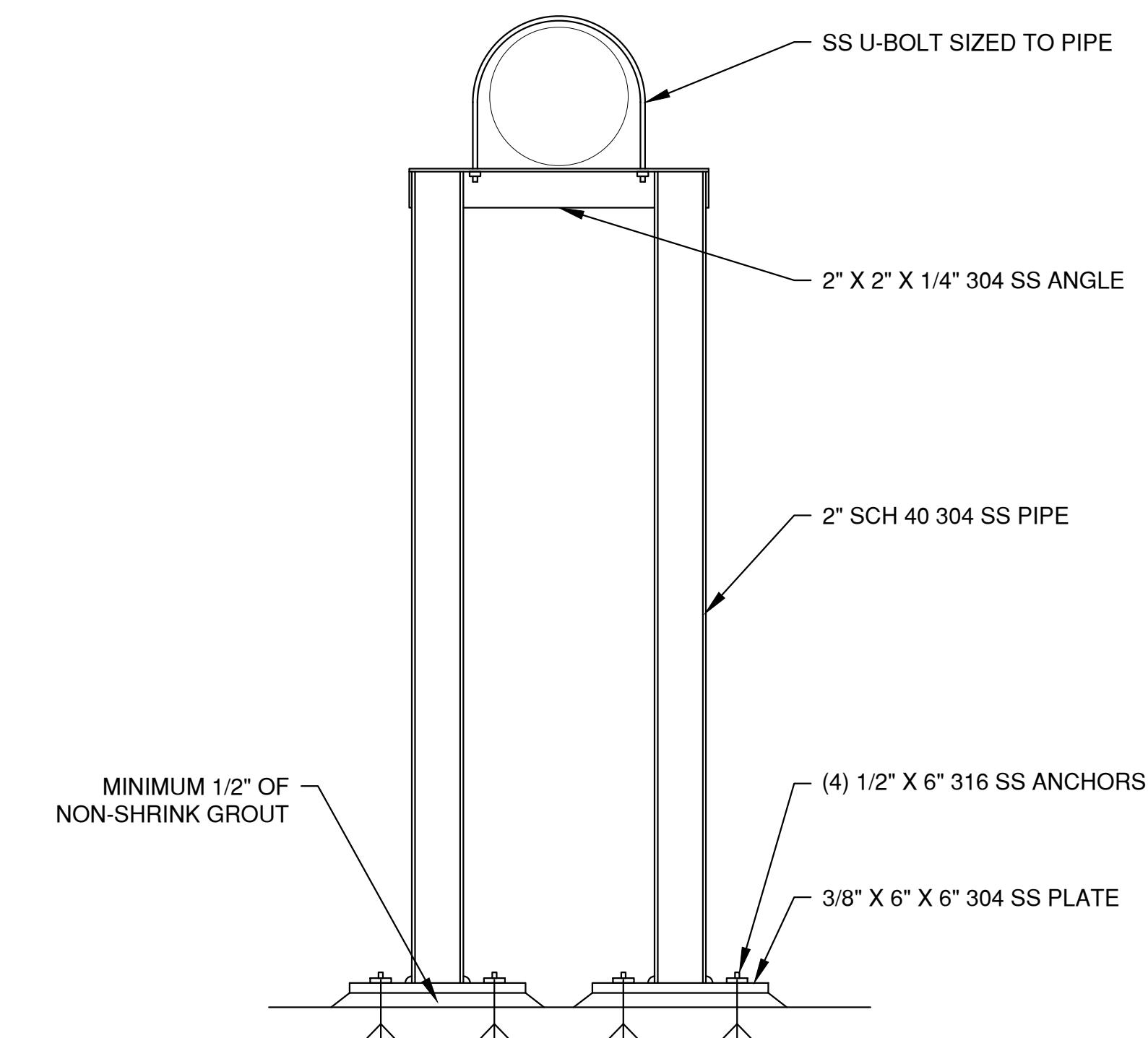
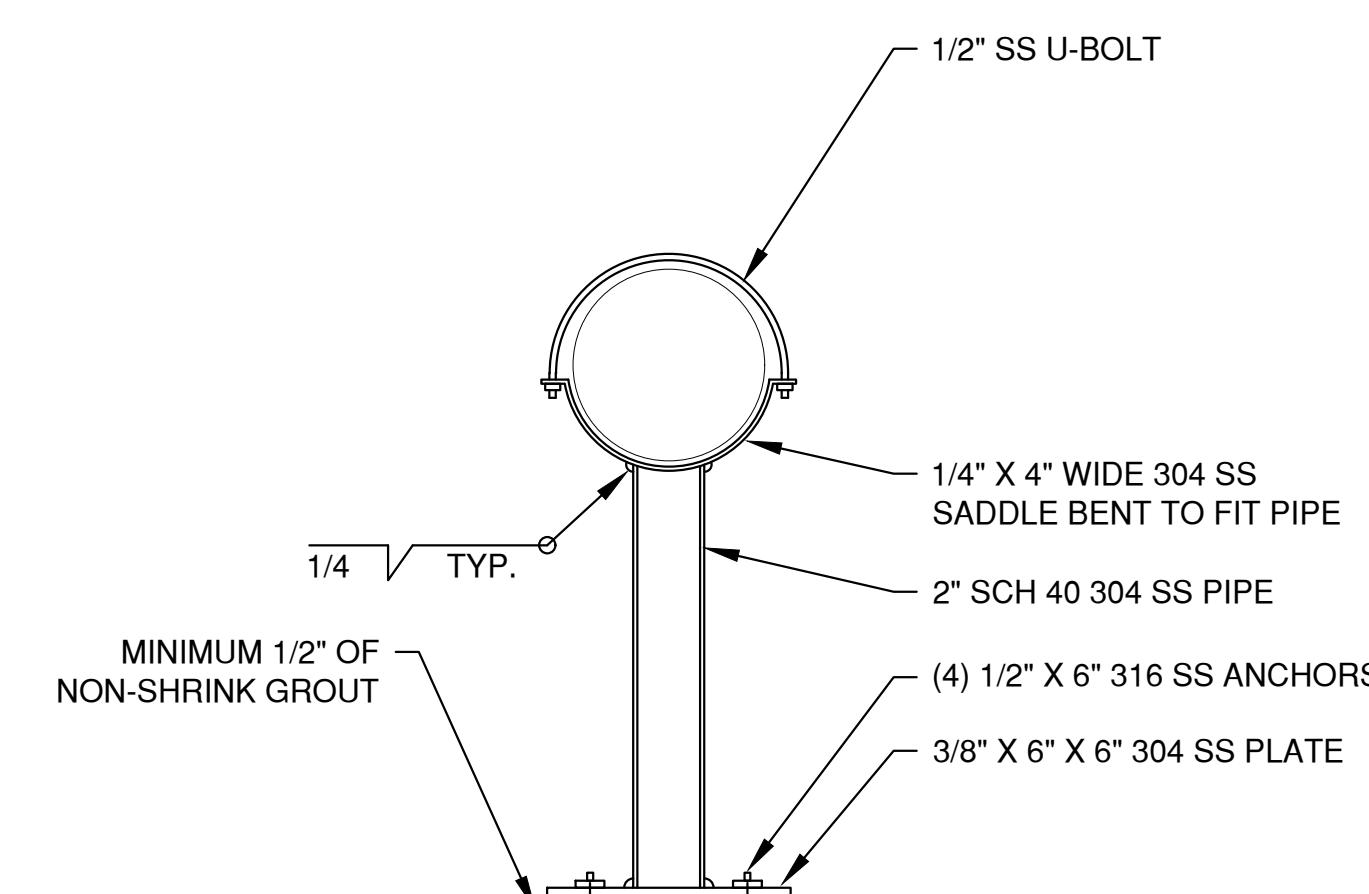
SCALE: NTS



METER ROOM SECTION VIEW

SCALE: NTS

14



PIPE STAND DETAIL

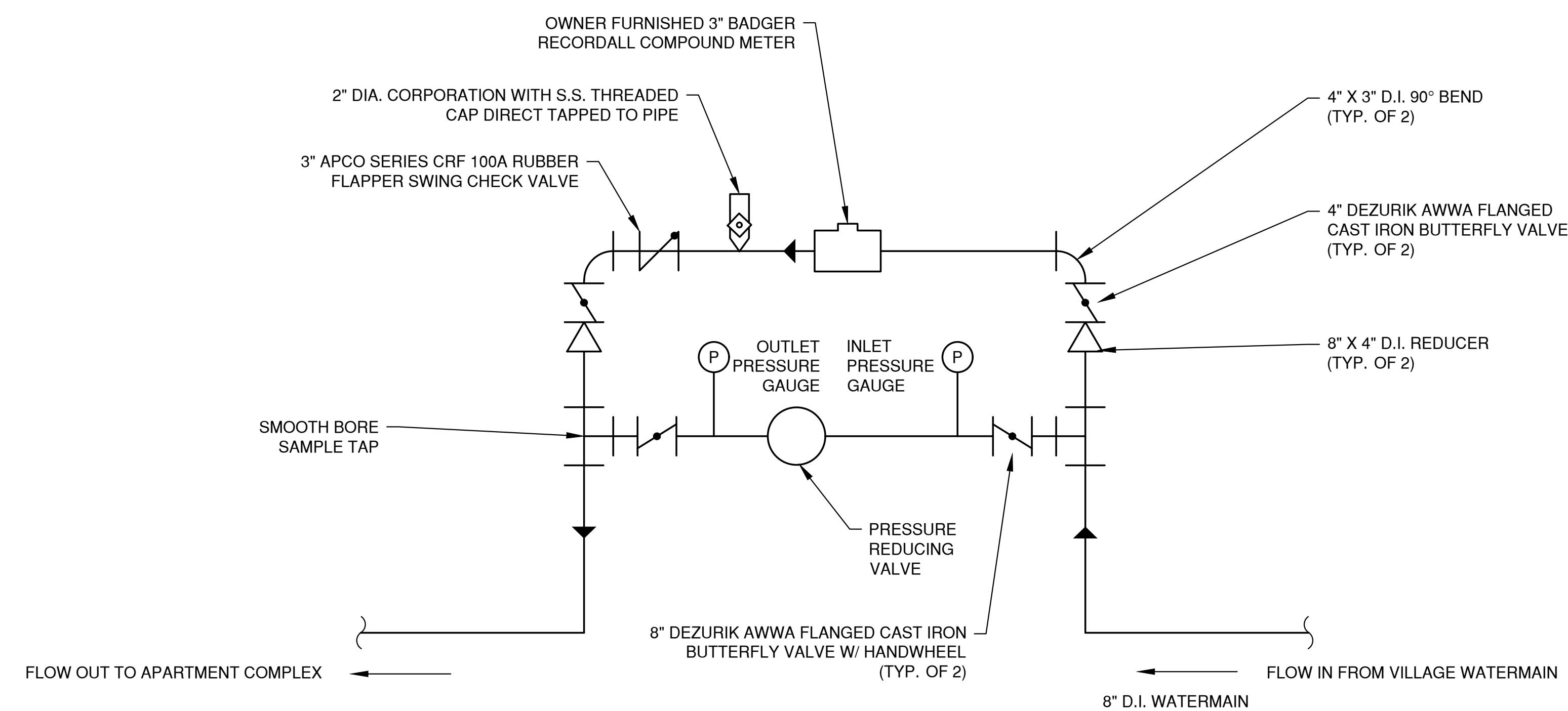
SCALE: NTS

STANTION PIPE SUPPORT DETAIL

SCALE: NTS

*NOTE: PIPE STAND MAY BE COMBINED WITH STANTION PIPE SUPPORT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN DRAWN CHECKED DESIGNED JJS	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN		METER ROOM PLAN, SECTION AND DETAILS		DATE 08/2024 FILE METER RM JOB NO. 4329161	Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releeinc.com	SHEET NO. 14



PRESSURE REDUCING VALVE SHALL BE SINGER VALVE MODEL S106-PR-C, CLA-VAL VALVE MODEL 90-01BYKCVDP, OR EQUAL, WITH PRESSURE RELIEF PILOT MODEL PR-160 (NORMALLY OPEN) WITH 2 PSI TO 200 PSI PILOT SPRING RANGE PRESET @ 60 PSI OR EQUAL. PROVIDE CHECK FEATURE. PROVIDE AN OXY NITRIDE COATED STEM AND DRY POSITION INDICATOR.

MASTER METER SCHEMATIC

NO.	DATE	APPROV.	REVISION

NO.	DATE	APPROV.	REVISION

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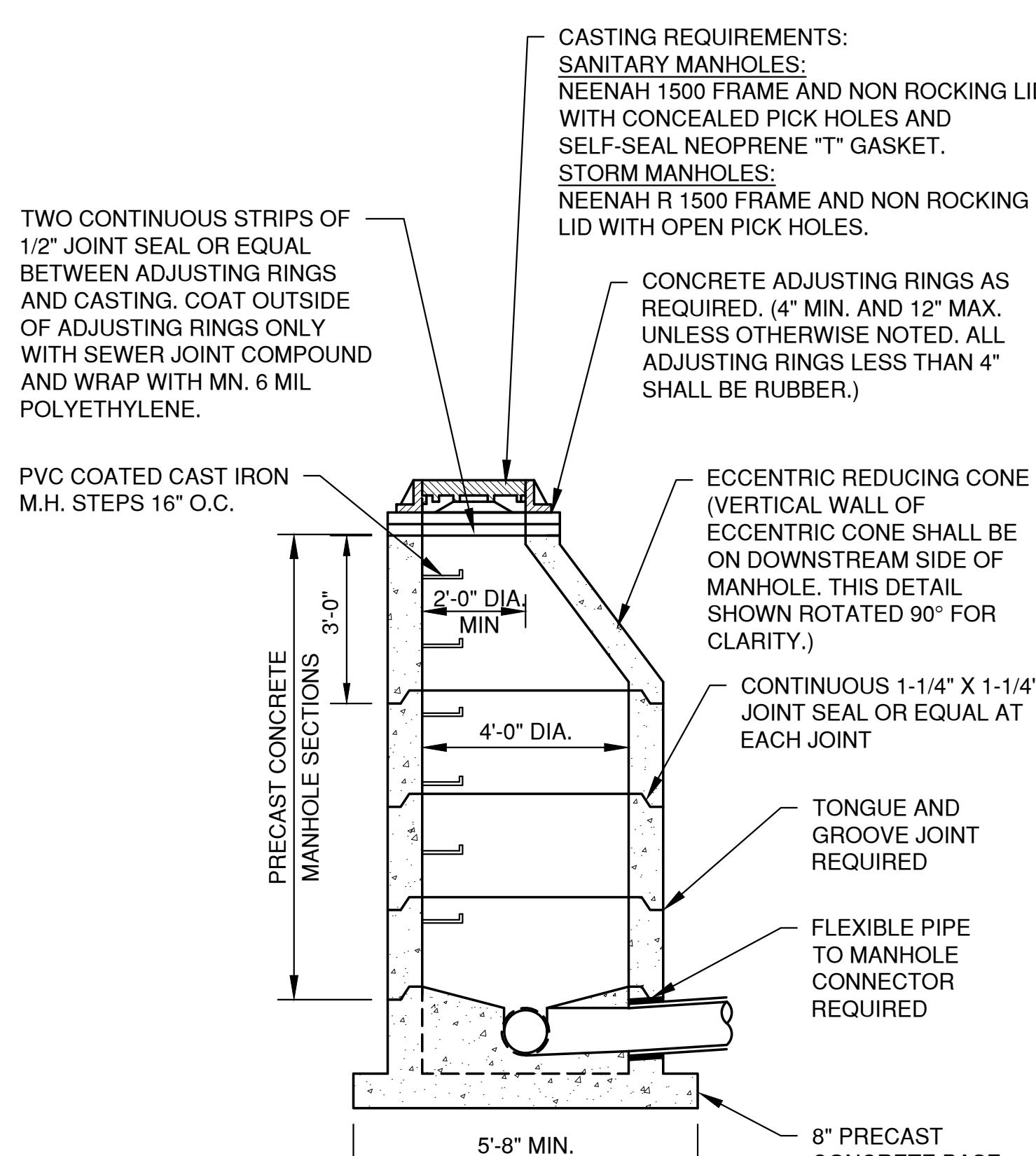
**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

METER ROOM SCHEMATIC DRAWING OF MASTER METER

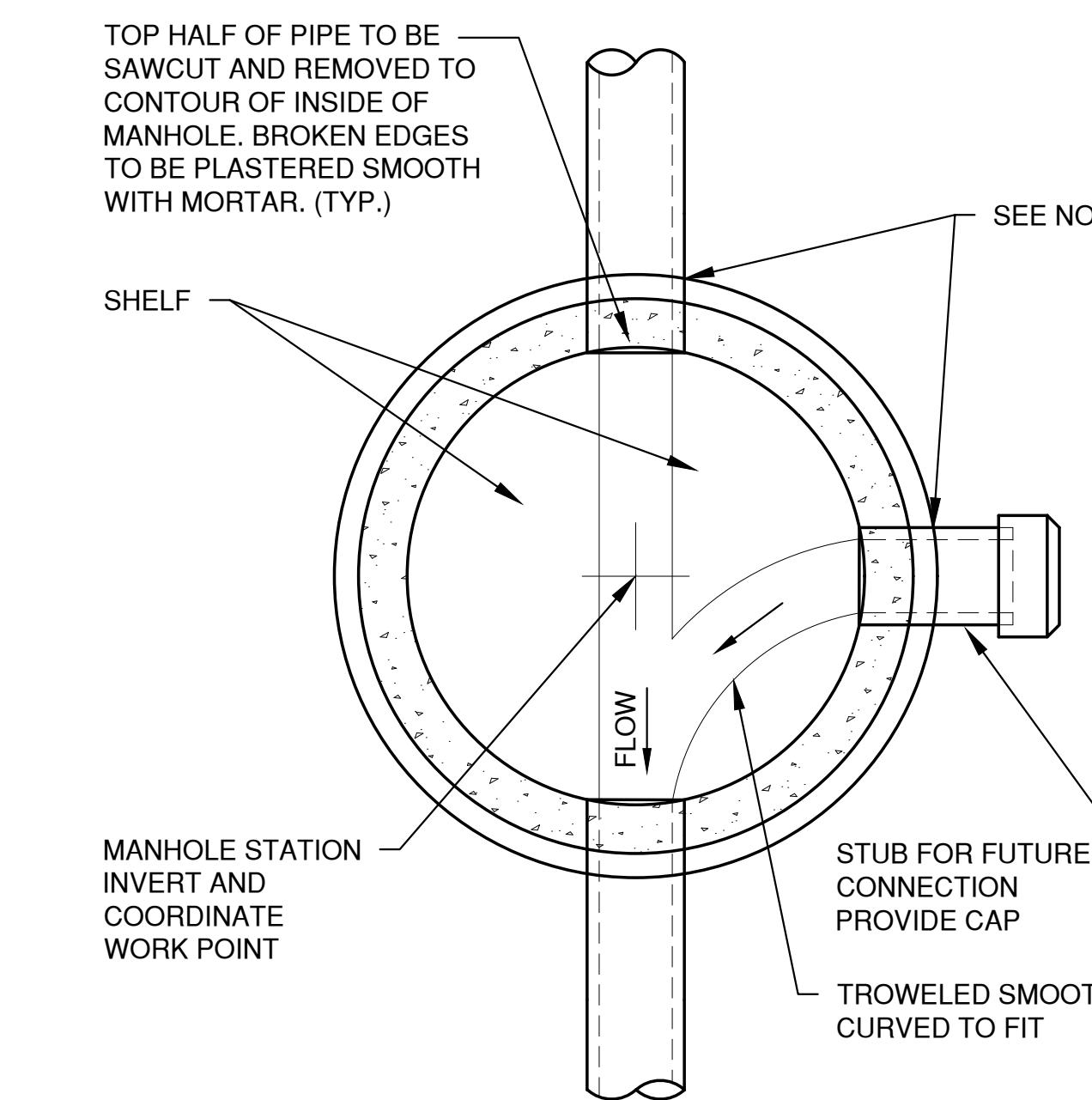
DATE
08/2024
FILE
METER RM
JOB NO.
4329161

 **REL** Robert E. Lee
& Associates, Inc. releeinc.com

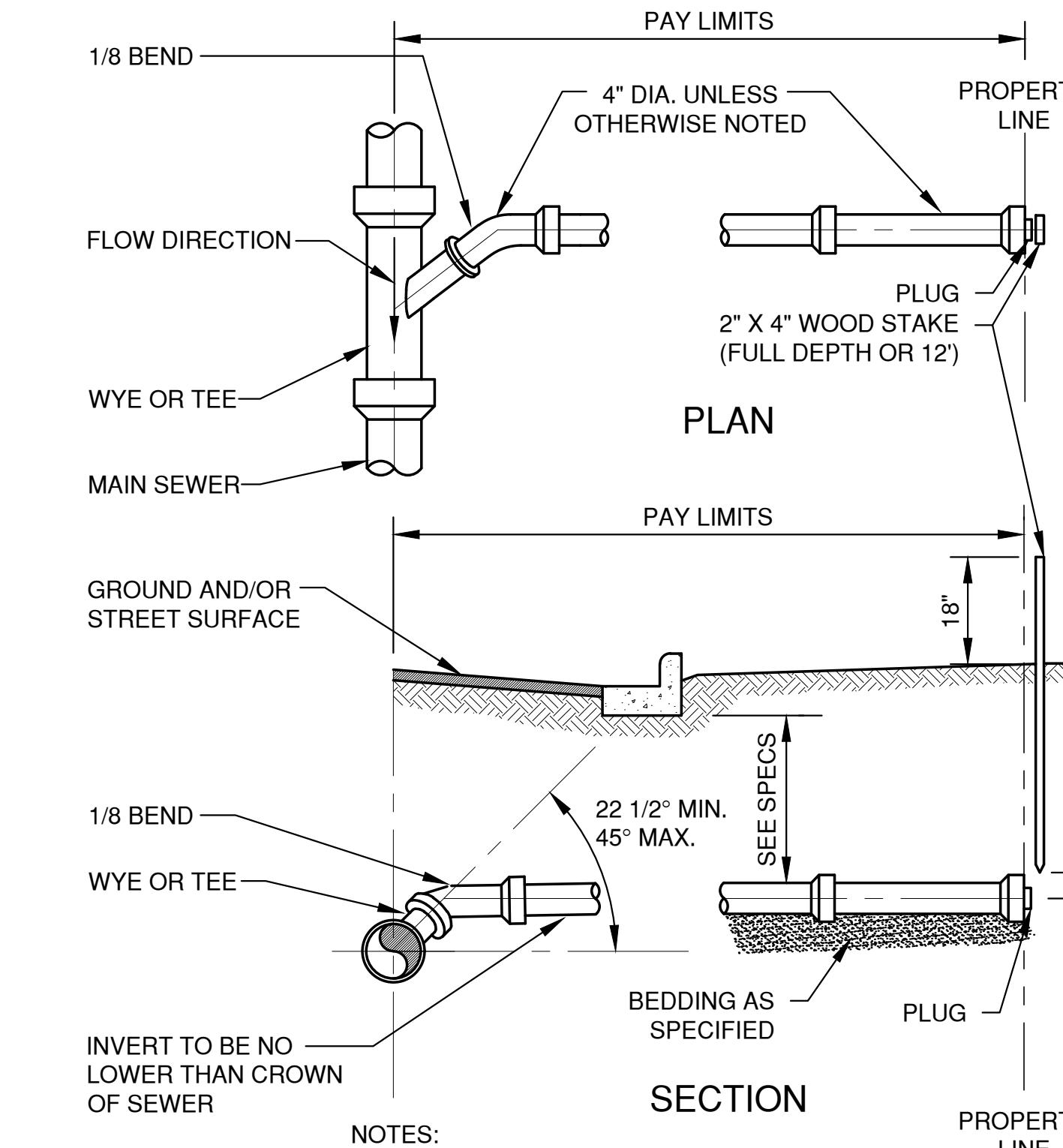
SHEET NO
15



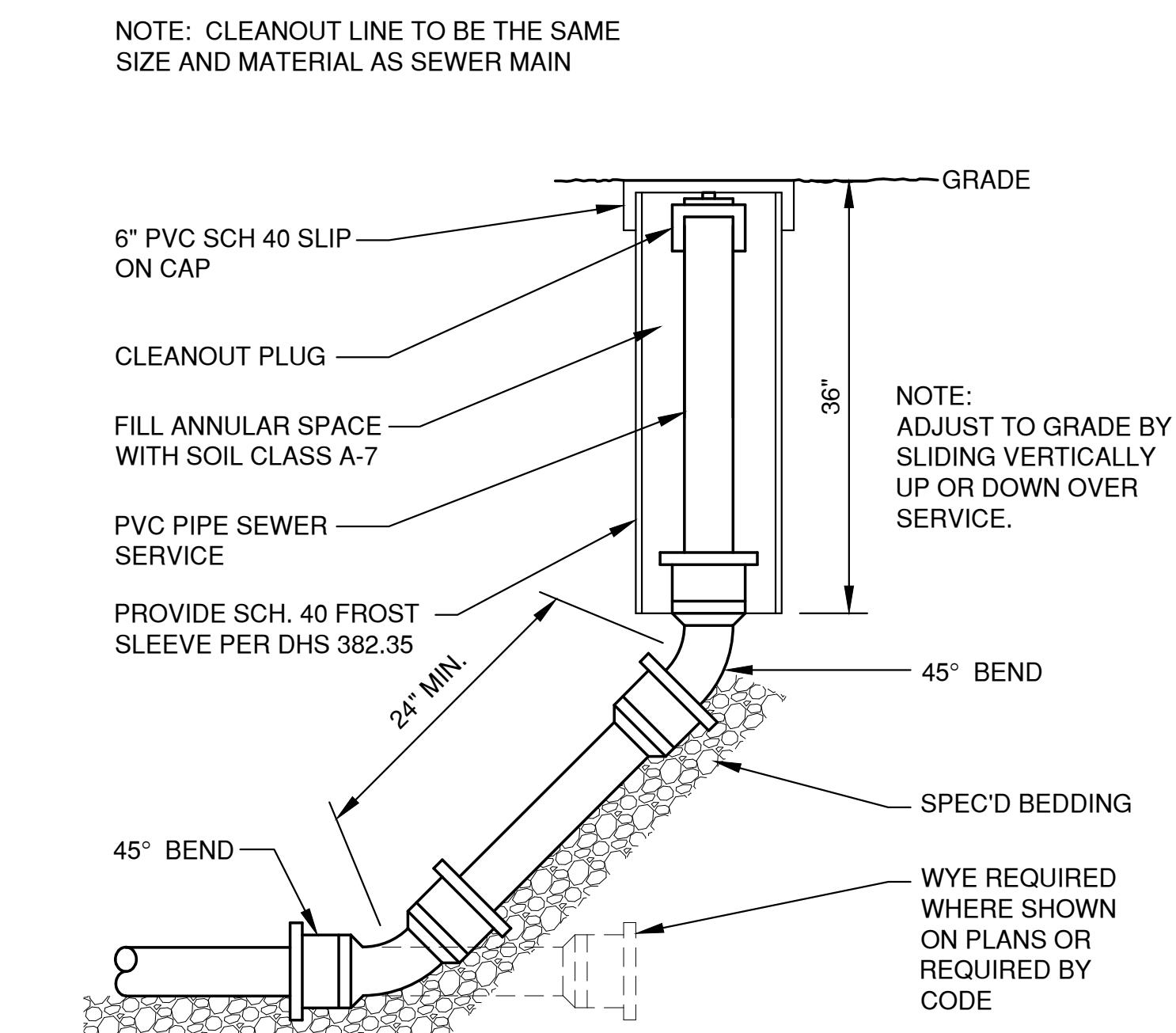
SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)



MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)



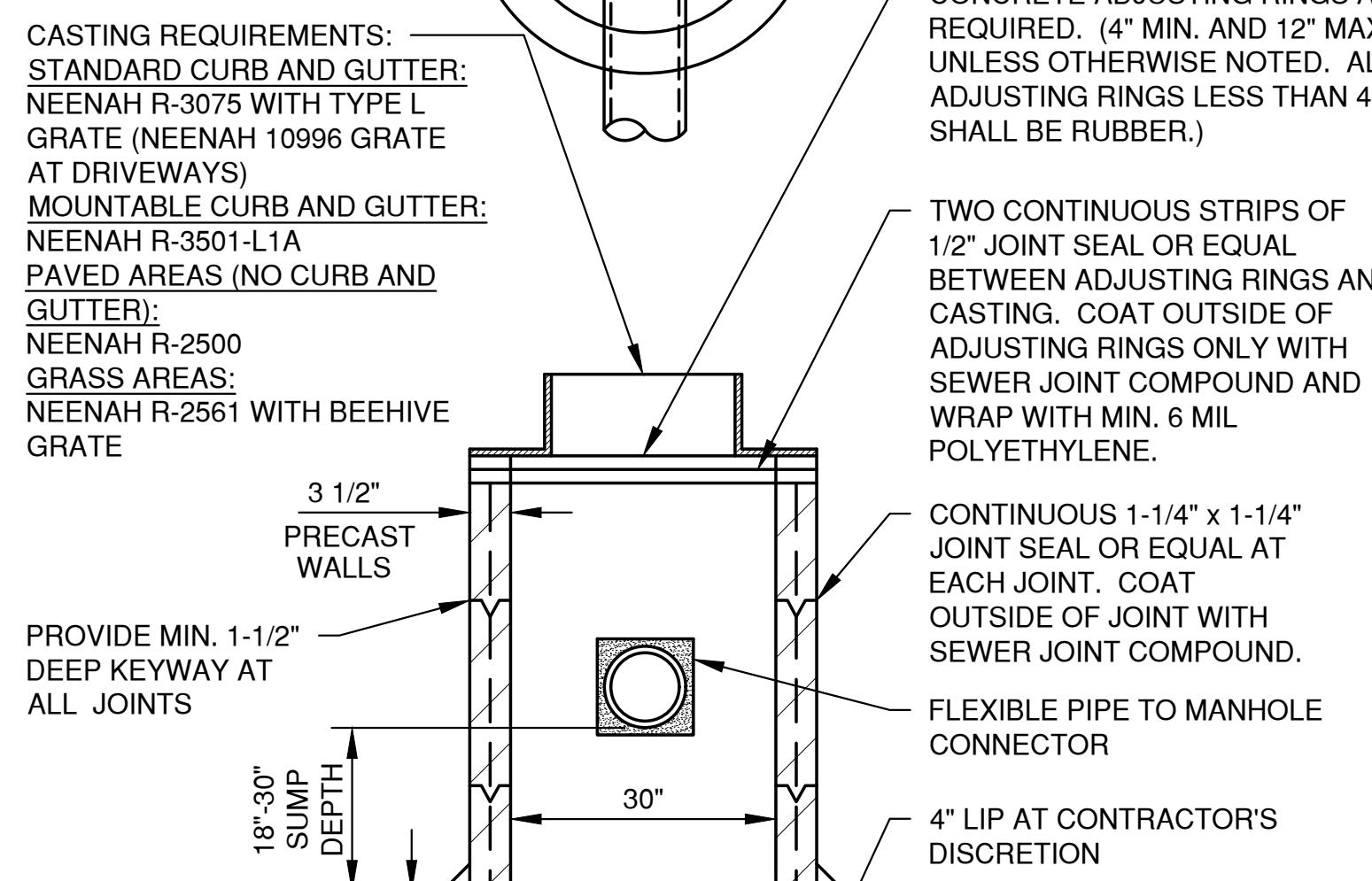
STANDARD SERVICE LATERAL



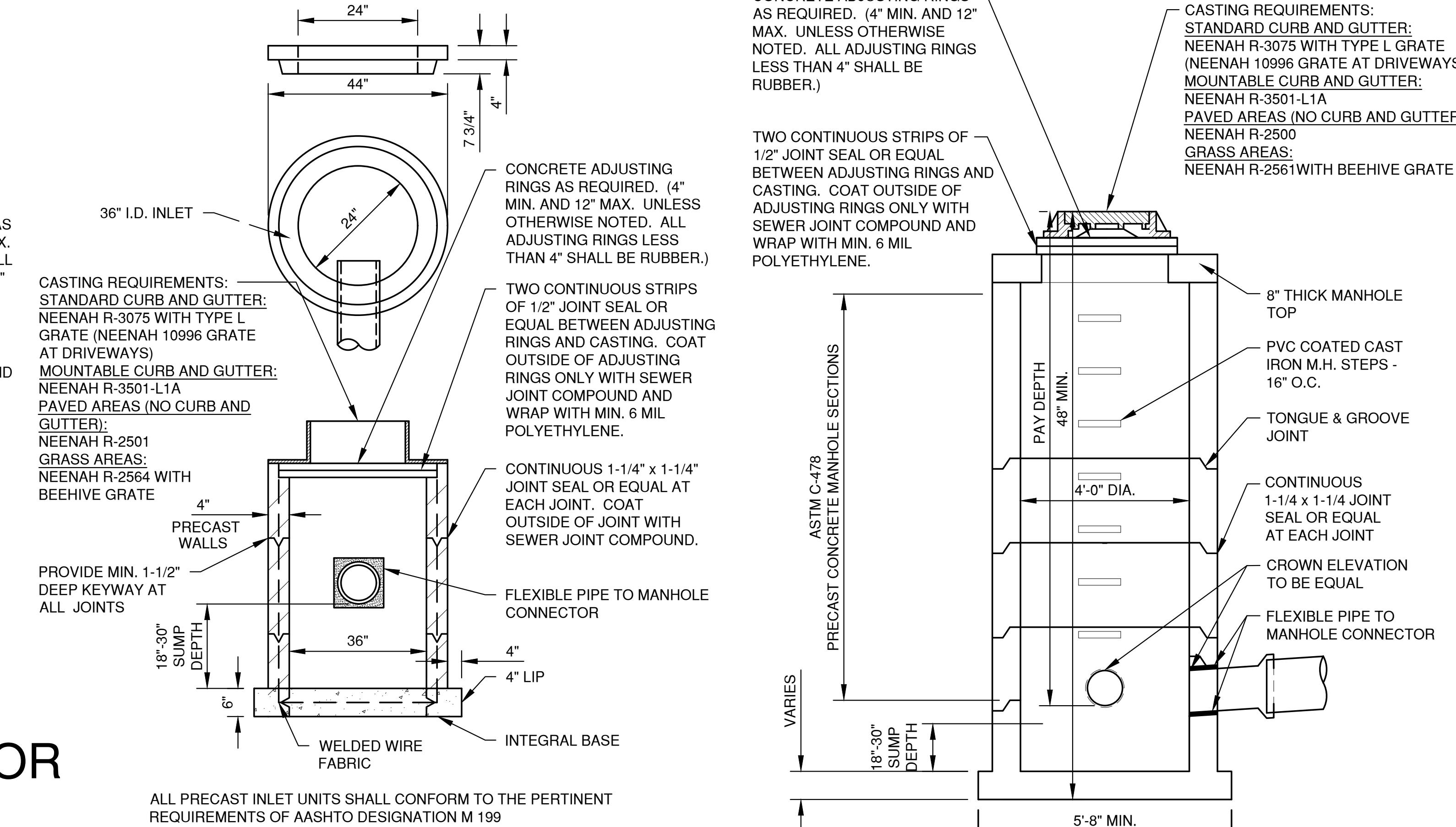
CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)

Plot Date: Aug 8, 2024 - 4:32:16 PM / 4329161.DET

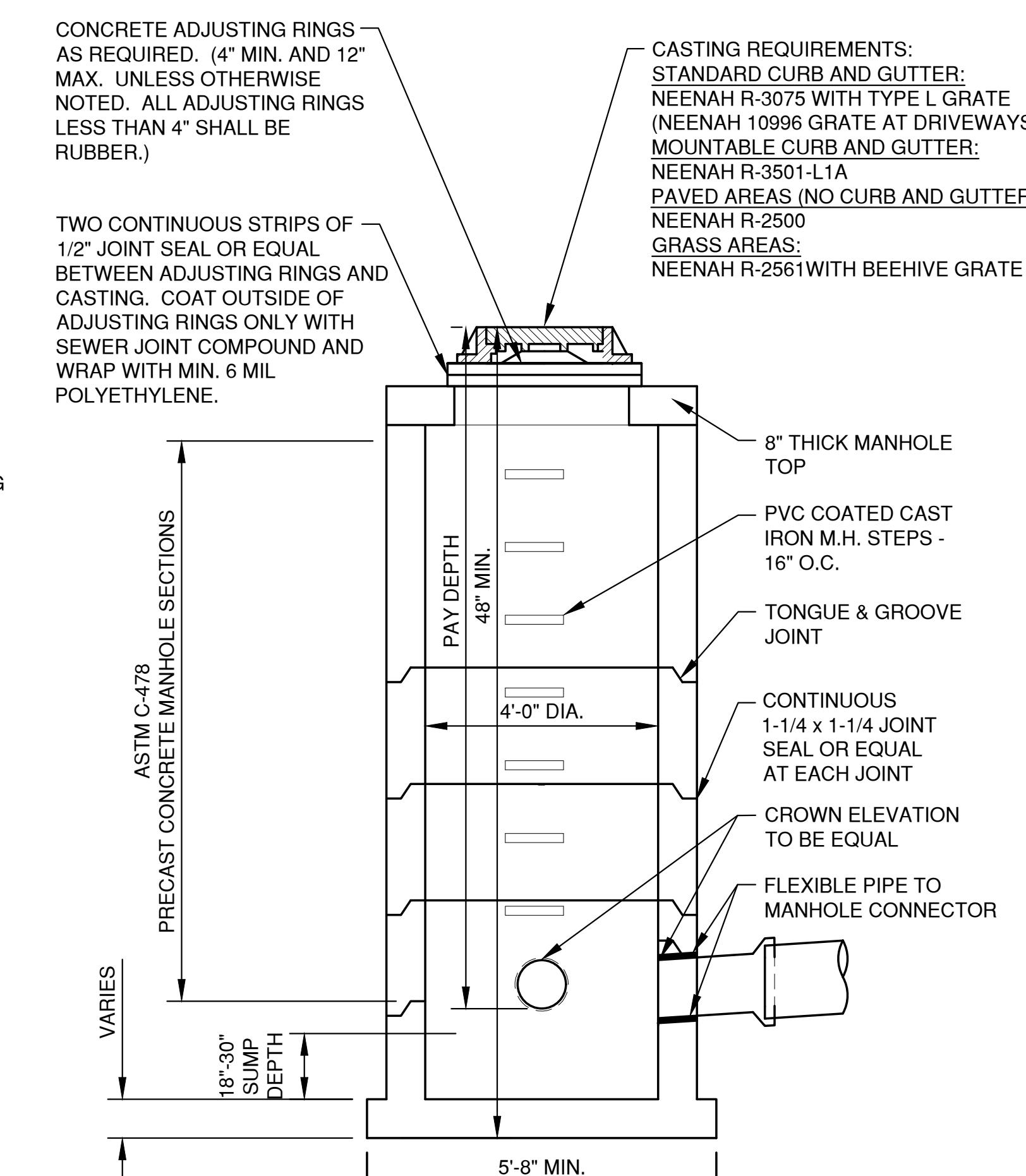
DETAILS (1)



TYPE 'A' STORM INLET



OR



STORM INLET MANHOLE TYPE "A"

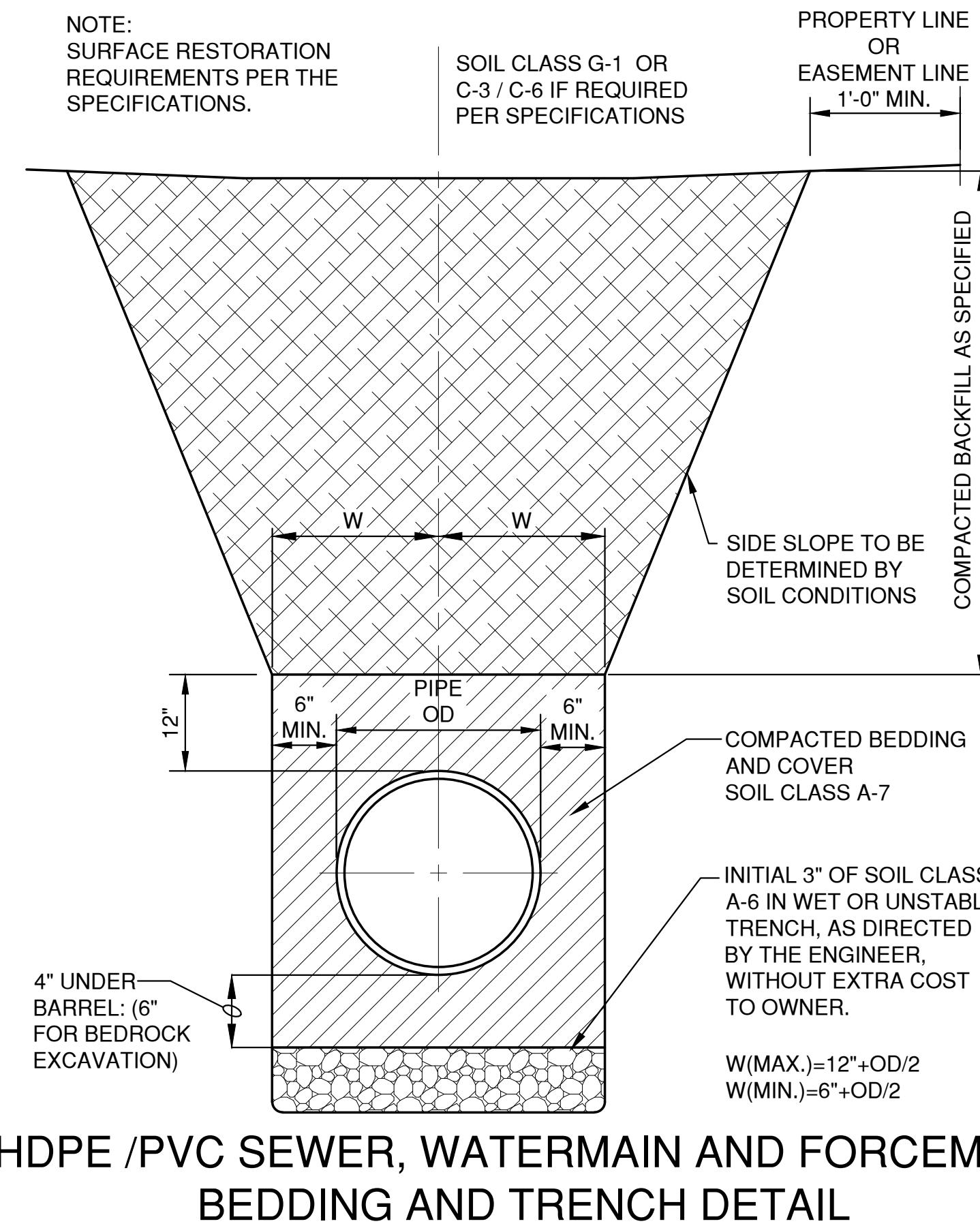
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	CHECKED ...	DESIGNED JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

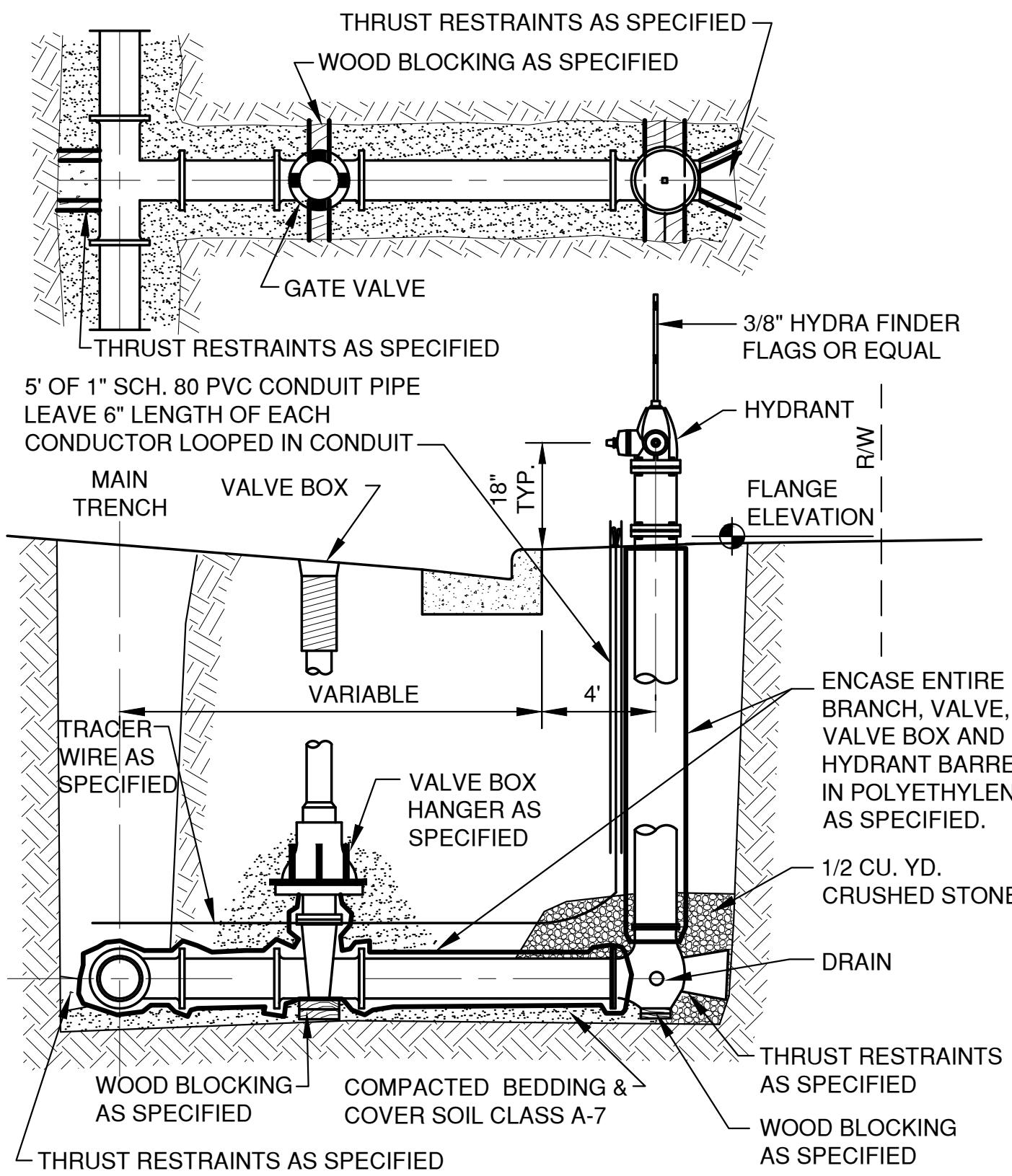
MISCELLANEOUS DETAILS

DATE
04/2024
FILE
4329161.DET
JOB NO.
4329161

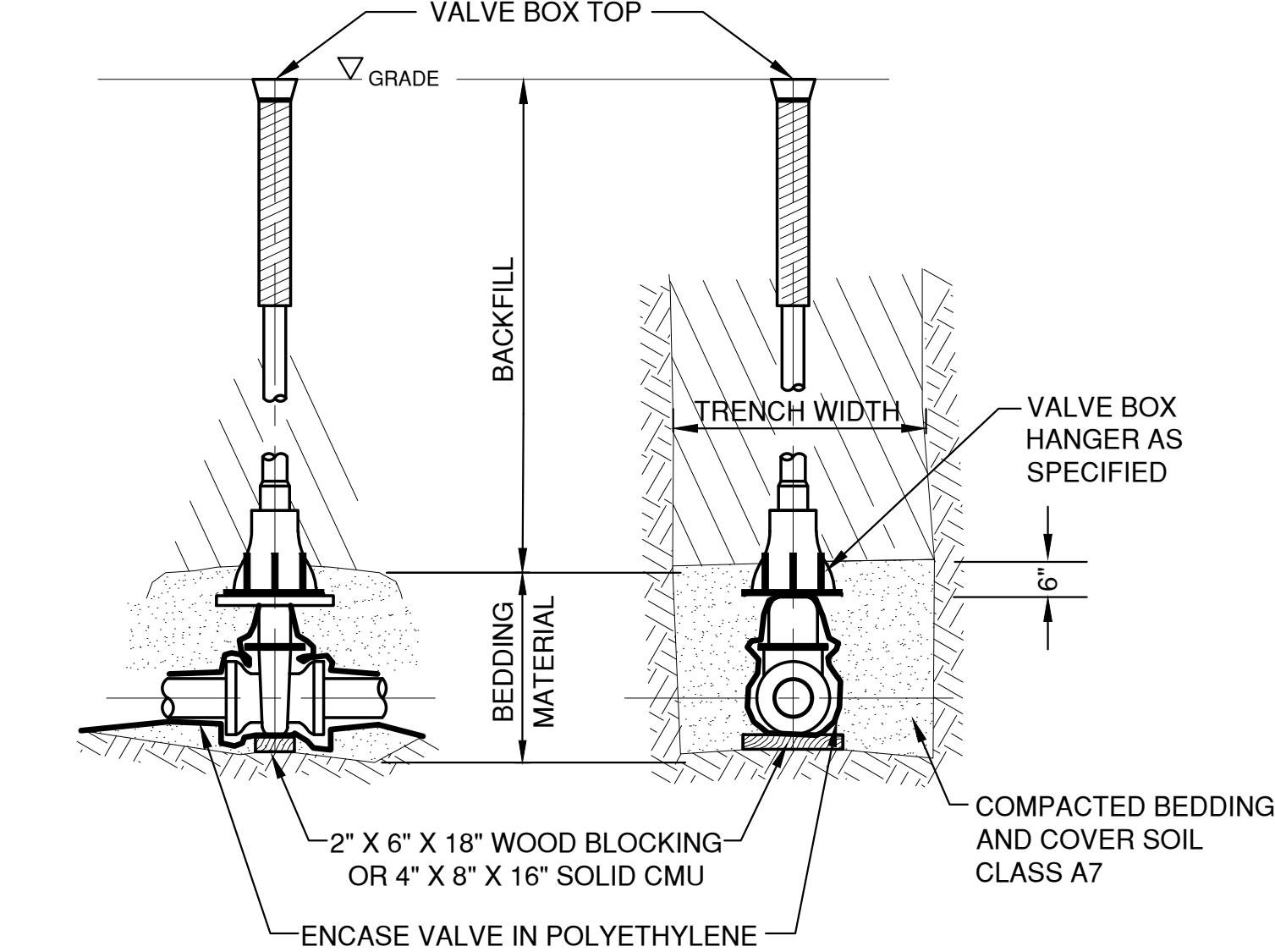
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HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN
BEDDING AND TRENCH DETAIL



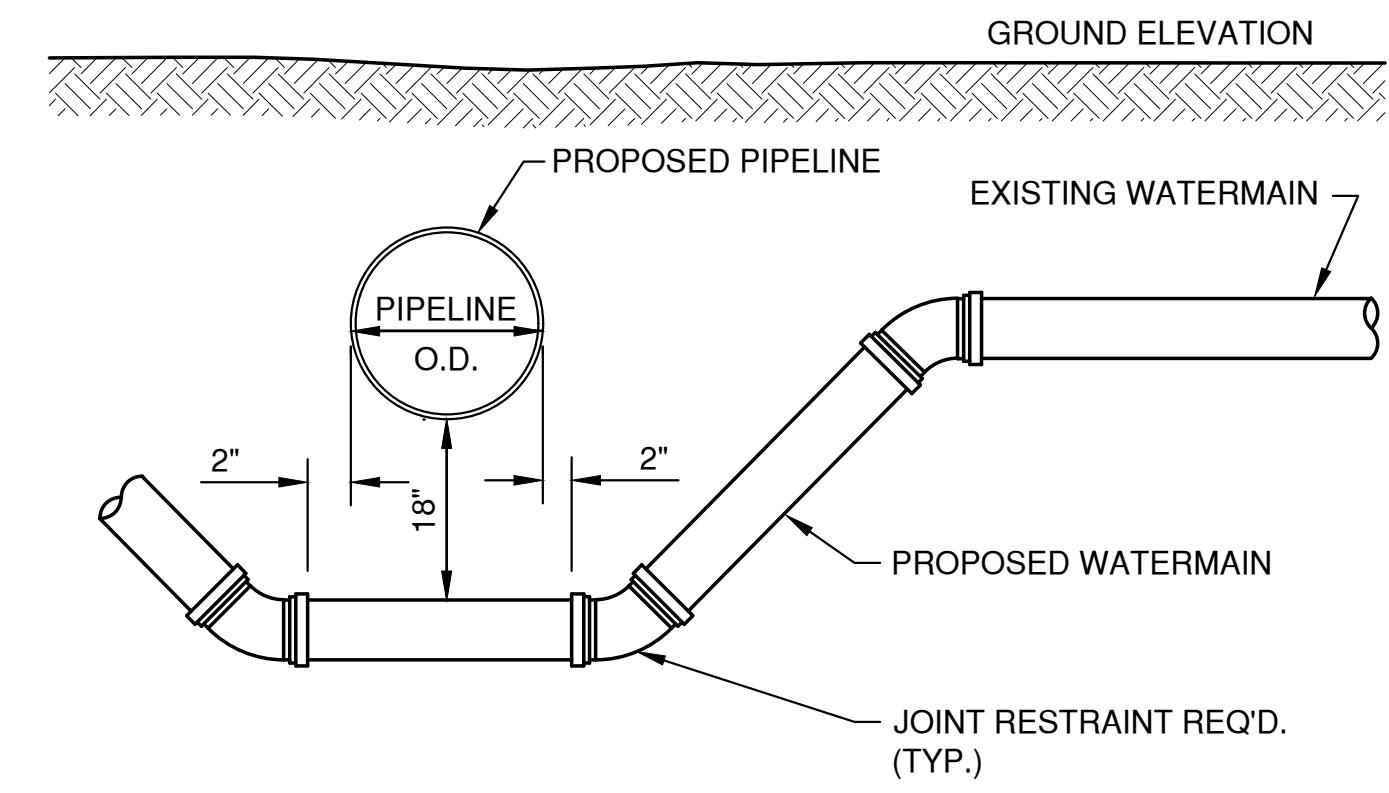
STANDARD HYDRANT SETTING
CURB SECTION



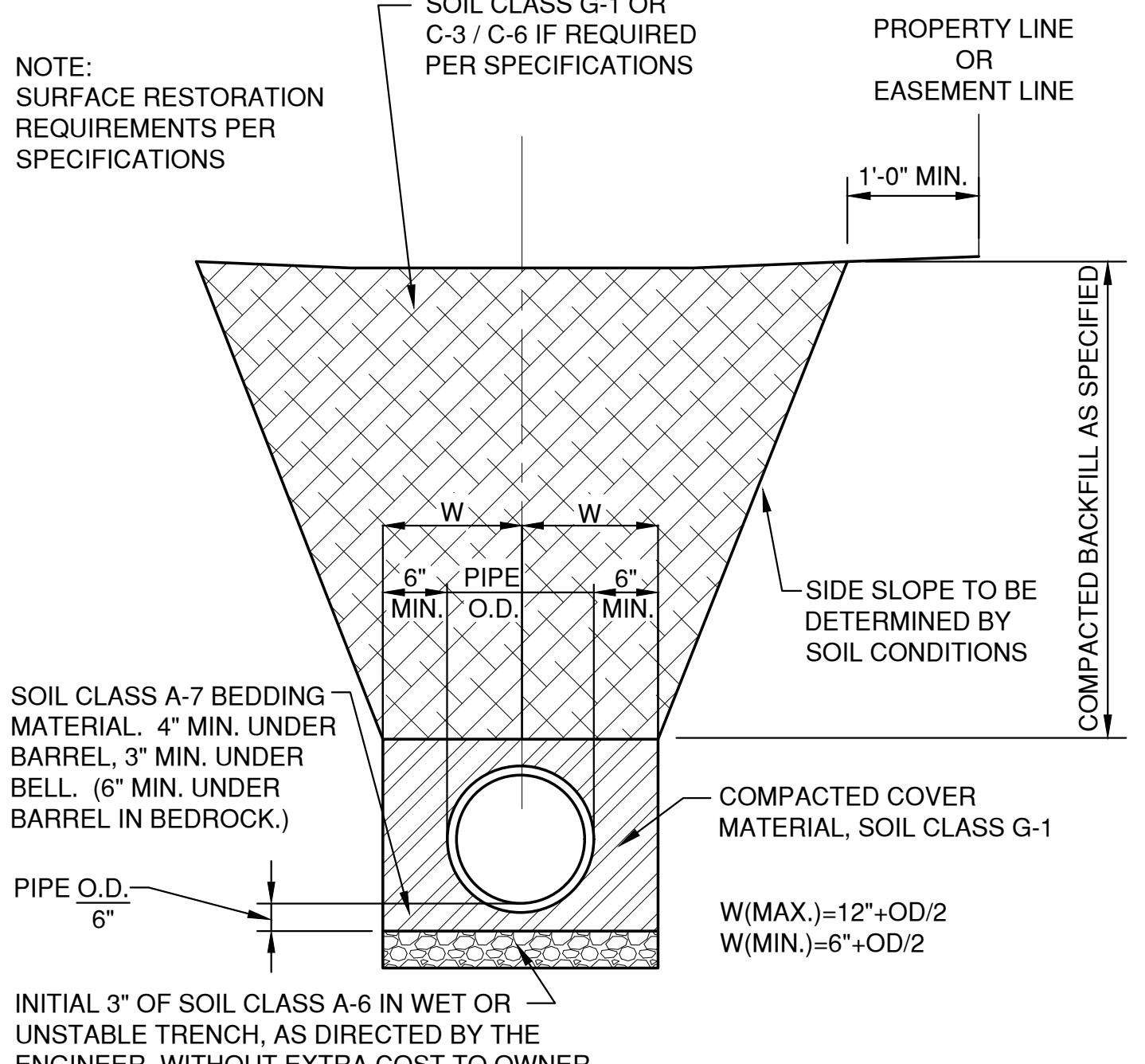
SIDE VIEW

FRONT VIEW

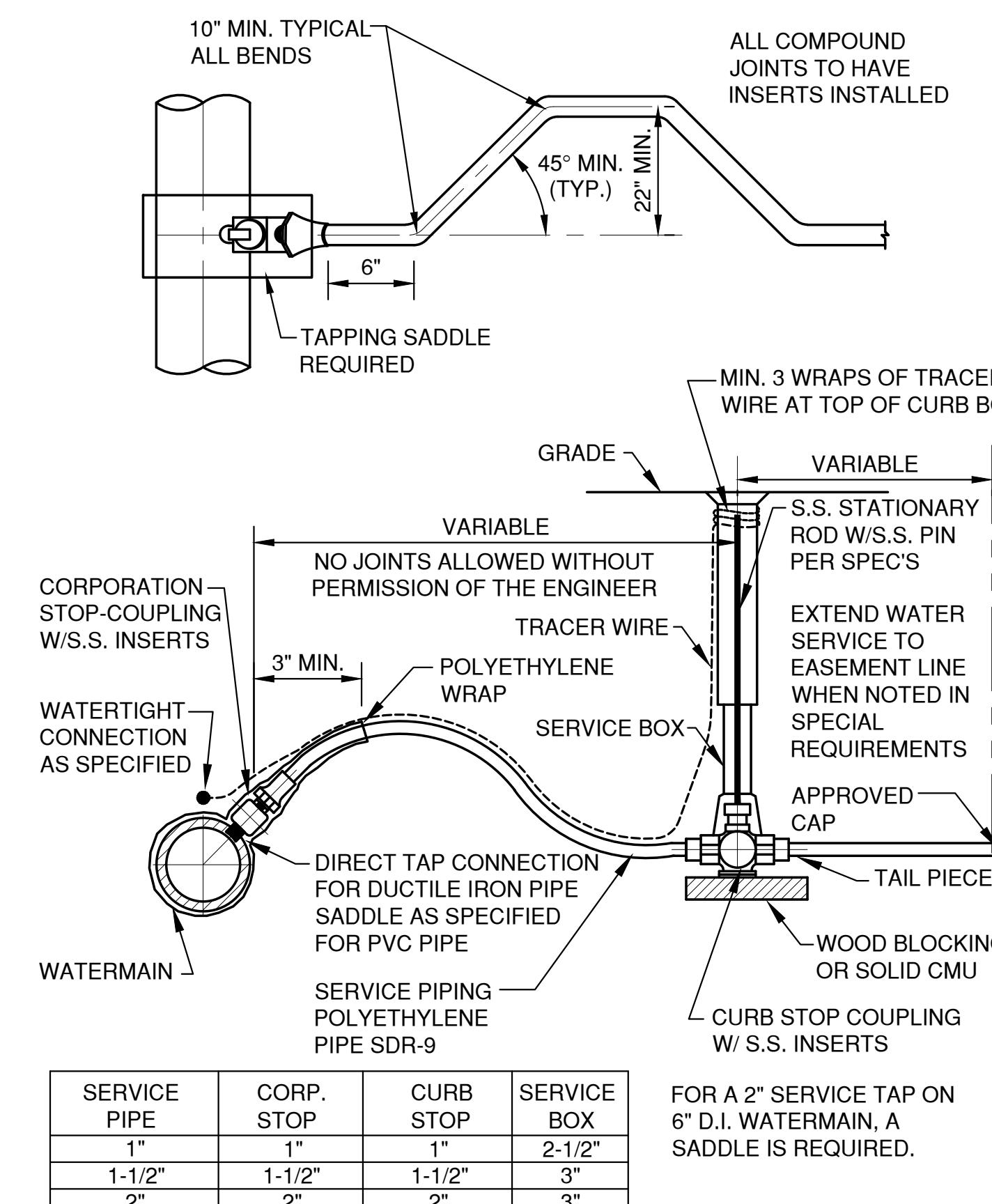
VALVE BOX SETTING



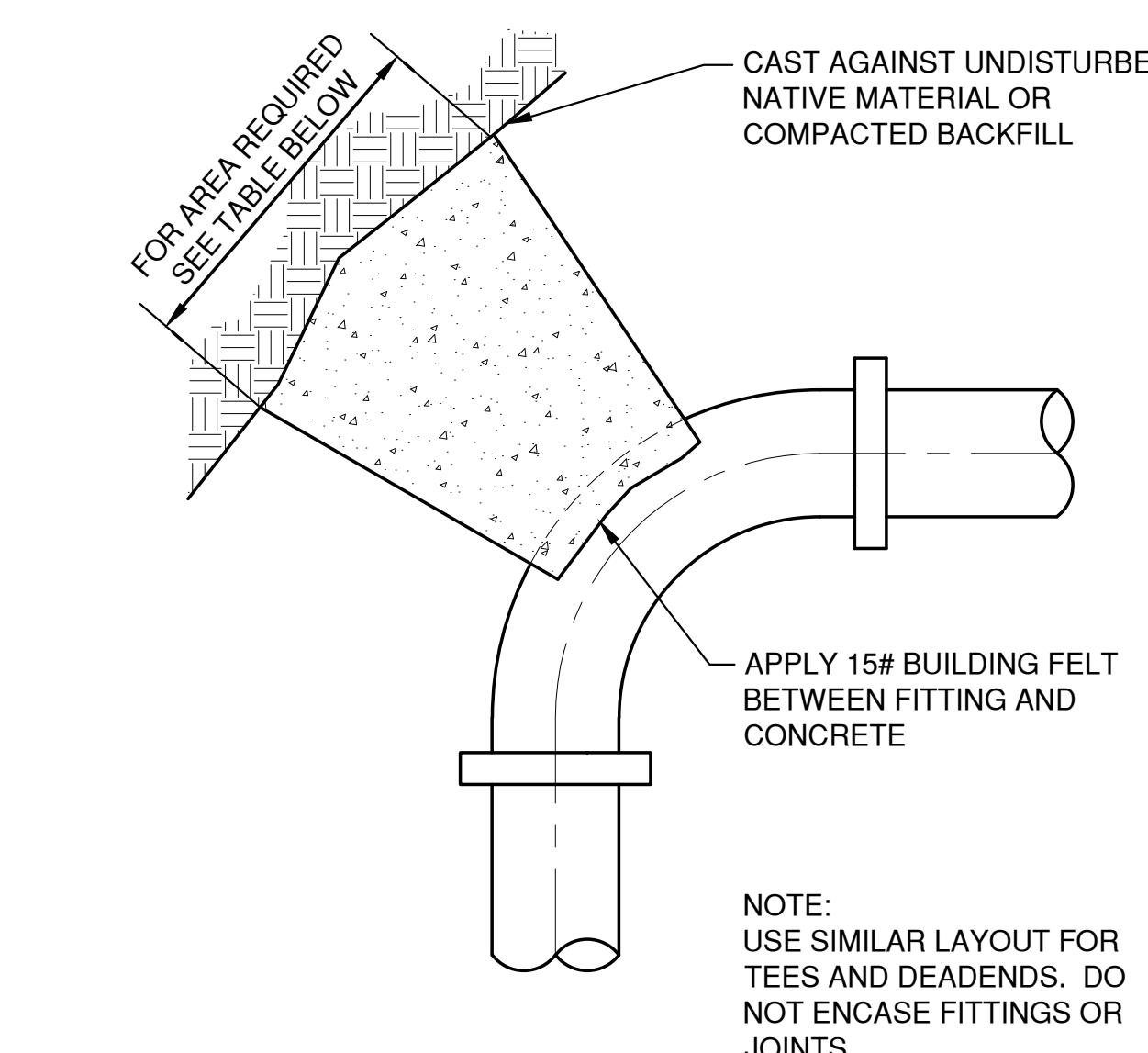
DETAIL FOR WATERMAIN OFFSET



CONCRETE PIPE BEDDING
AND TRENCH DETAIL



TAP SERVICE PIPING
(POLYETHYLENE)



THRUST BLOCK AREA REQUIREMENTS, S.F.

DEGREE OF BEND	4" PIPE	6" PIPE	8" PIPE	10" PIPE	12" PIPE
5° TO 22.5°	1.0	1.0	2.0	3.0	4.0
23° TO 45°	1.0	2.0	4.0	6.0	8.0
46° TO 90°	2.0	4.0	7.0	11.0	15.0
TEE OR DEAD END	2.0	3.0	5.0	8.0	10.0

TYPICAL THRUST BLOCK

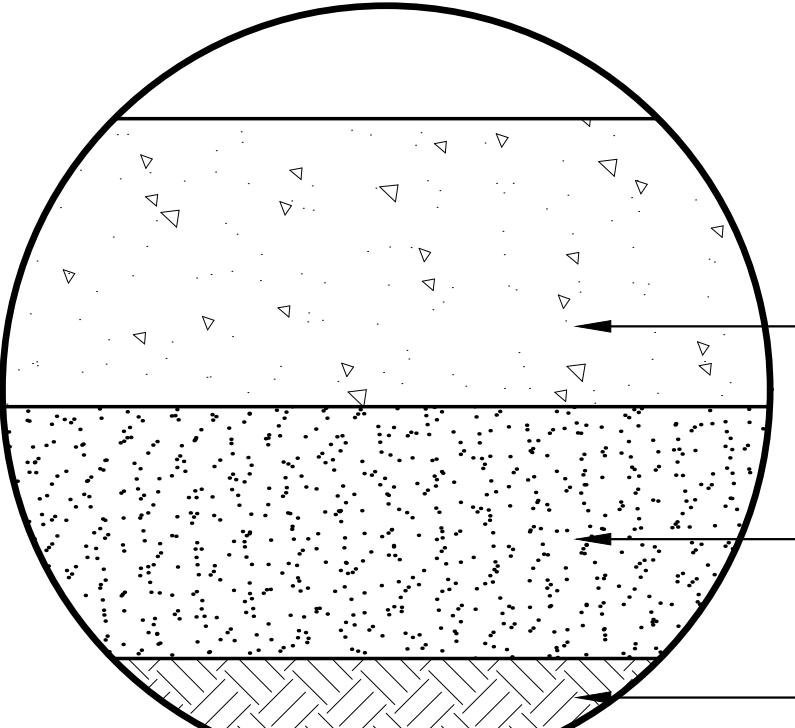
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN D.P.	CHECKED	DESIGNED JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

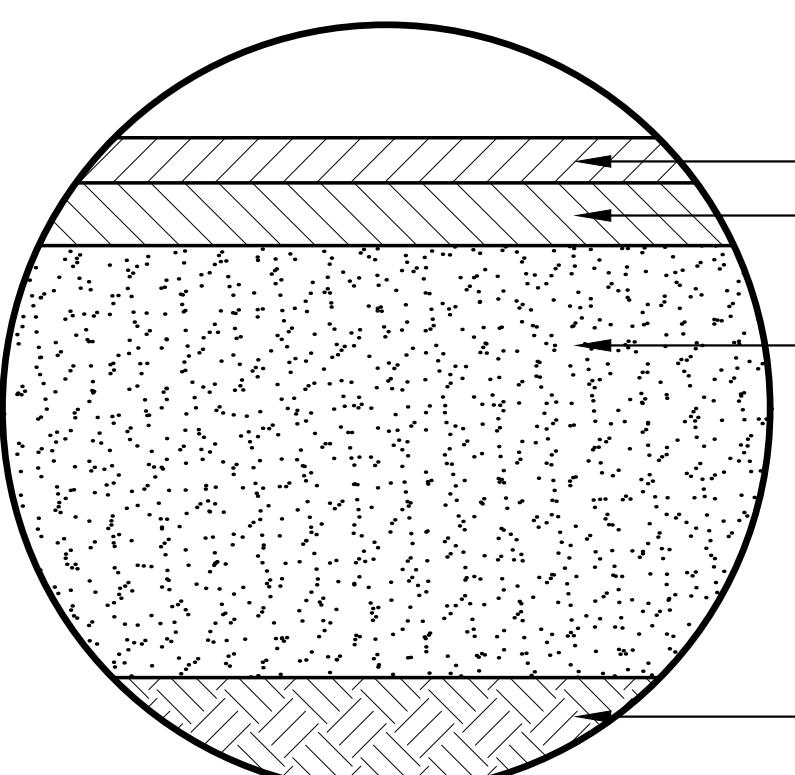
MISCELLANEOUS DETAILS

DATE
04/2024
FILE
4329161 DET
JOB NO.
4329161

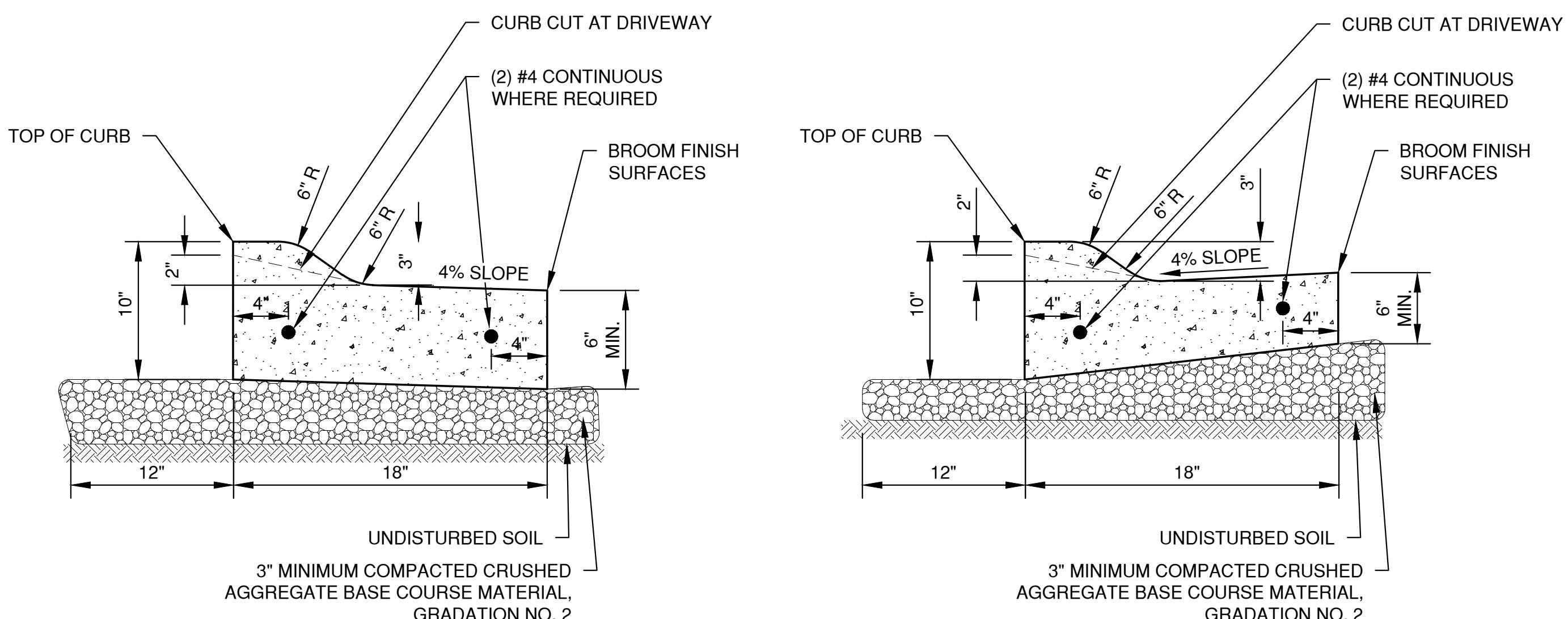
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CONCRETE PAVEMENT



ASPHALT PAVEMENT



NOTES:

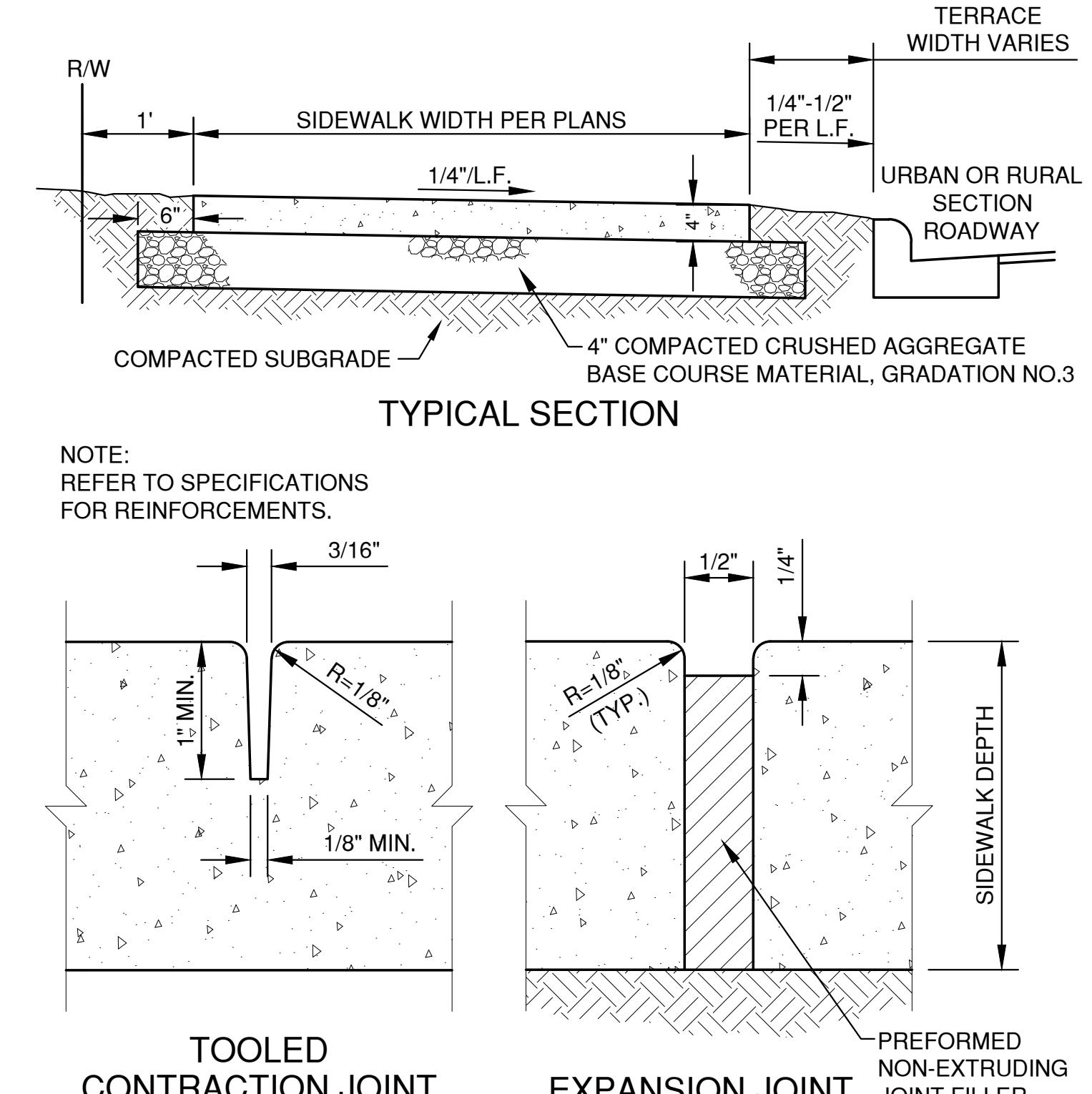
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
2. AT REMOVAL AND REPLACEMENT AREAS AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG, DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE SHEDDING CURB AND GUTTER

NOTES:

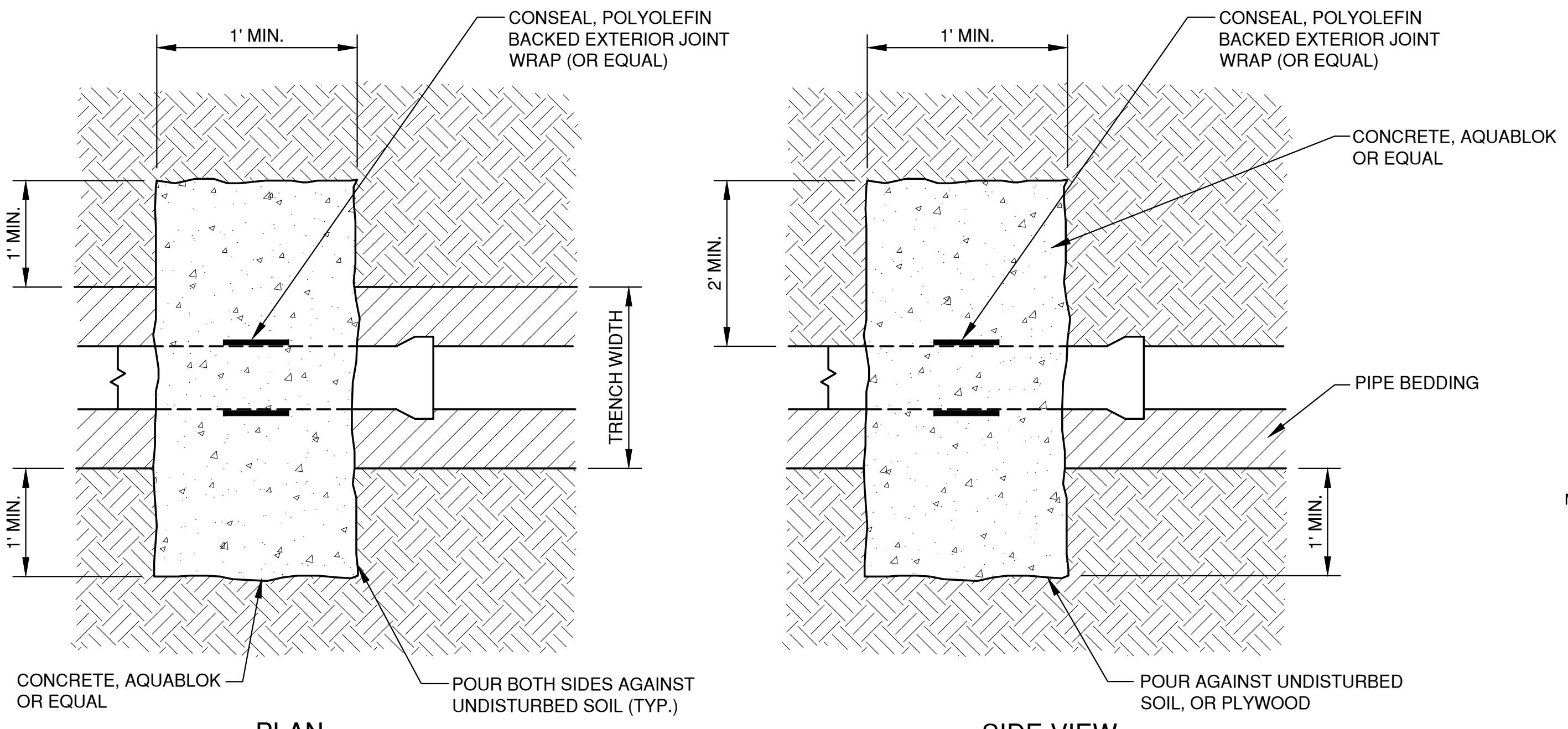
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
2. AT REMOVAL AND REPLACEMENT AREAS AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG, DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE CURB AND GUTTER



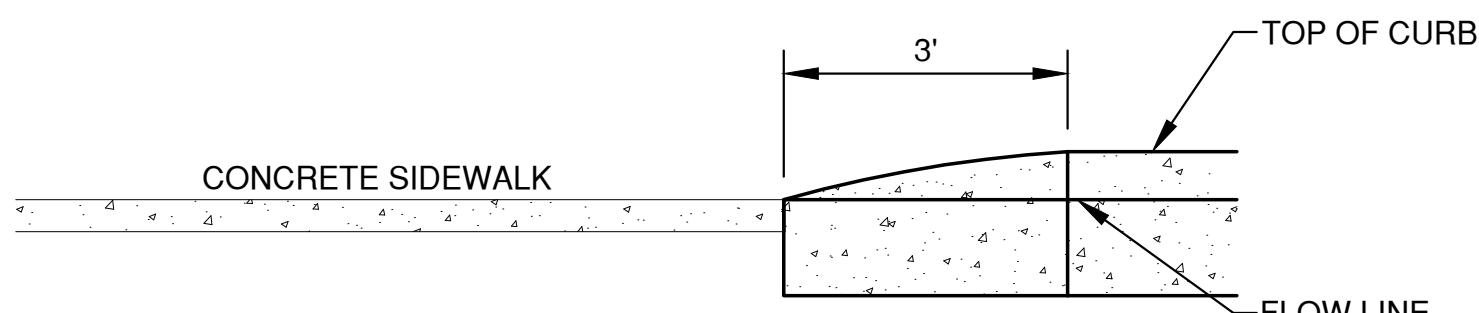
WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT REQ'D.	100' MAX.
5'	5'	NOT REQ'D.	100' MAX.
6'	6'	NOT REQ'D.	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

SIDEWALK DETAIL

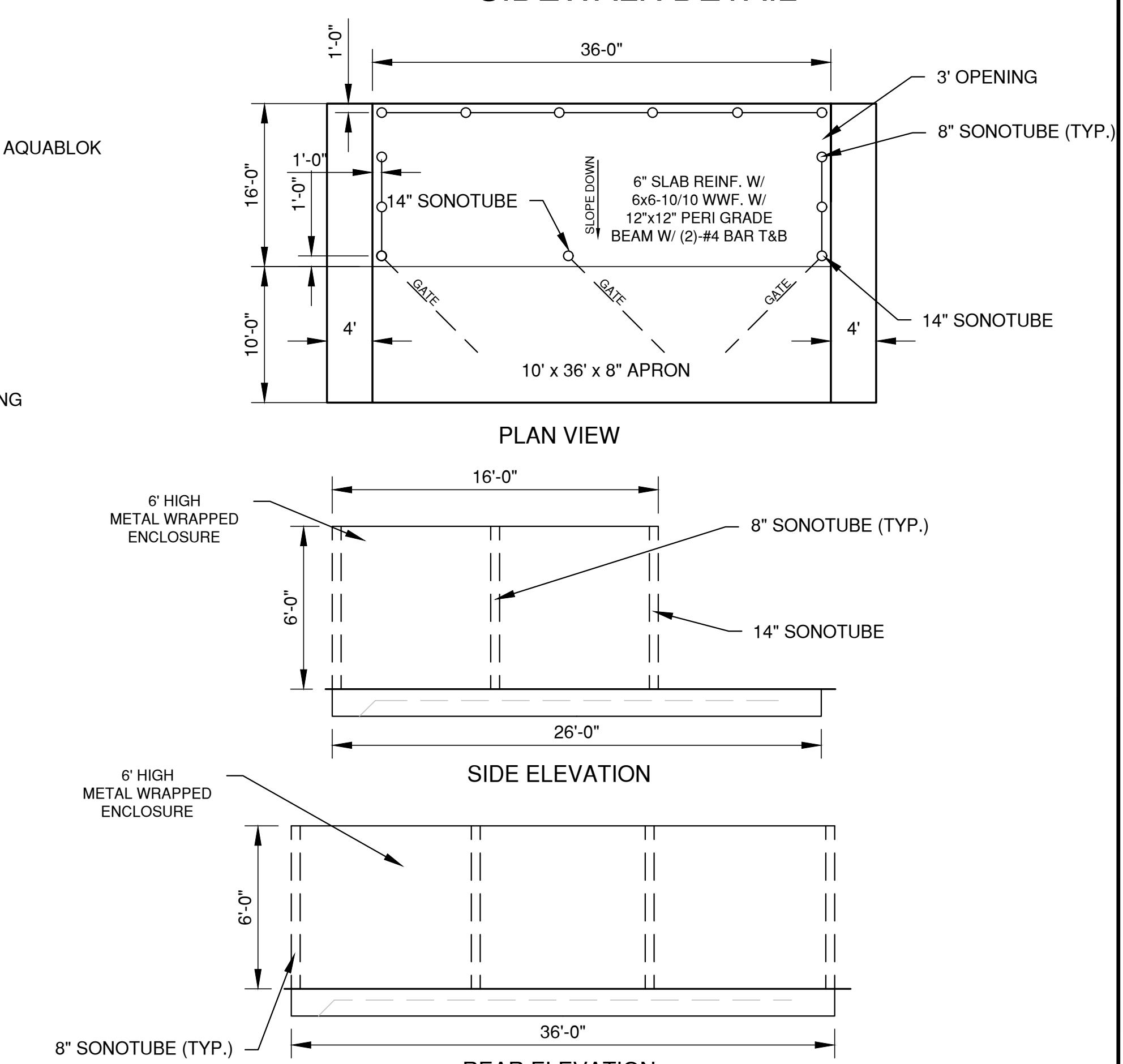


CLAY DAM DETAIL

AQUABLOK : www.aquablok.com
INSTALLATION PER MANUFACTURERS GUIDELINES



CURB TAPER DETAIL



NOTE: SLAB TO HAVE SONOTUBES PUT IN AT TIME OF FLATWORK POUR, 1' FROM EDGE OF CONCRETE SLAB TO CENTER OF HOLE

TRASH ENCLOSURE DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	CHECKED ...	DESIGNED JGS	EVANTRA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF LITTLE CHUTE OUTAGAMIE COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE 04/2024	FILE 4329161 DET	JOB NO. 4329161	SHEET NO. 18

INLET PROTECTION NOTES:

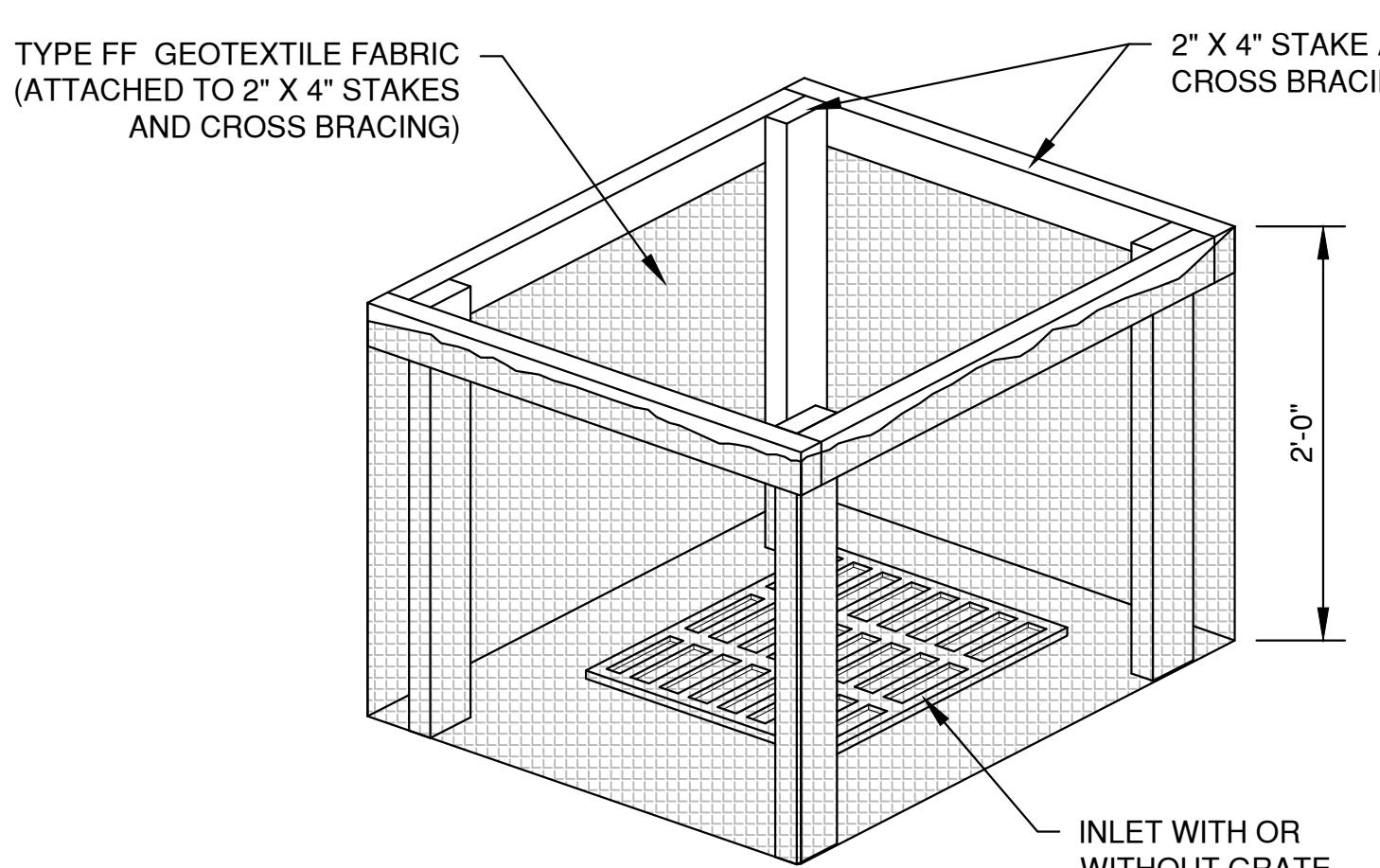
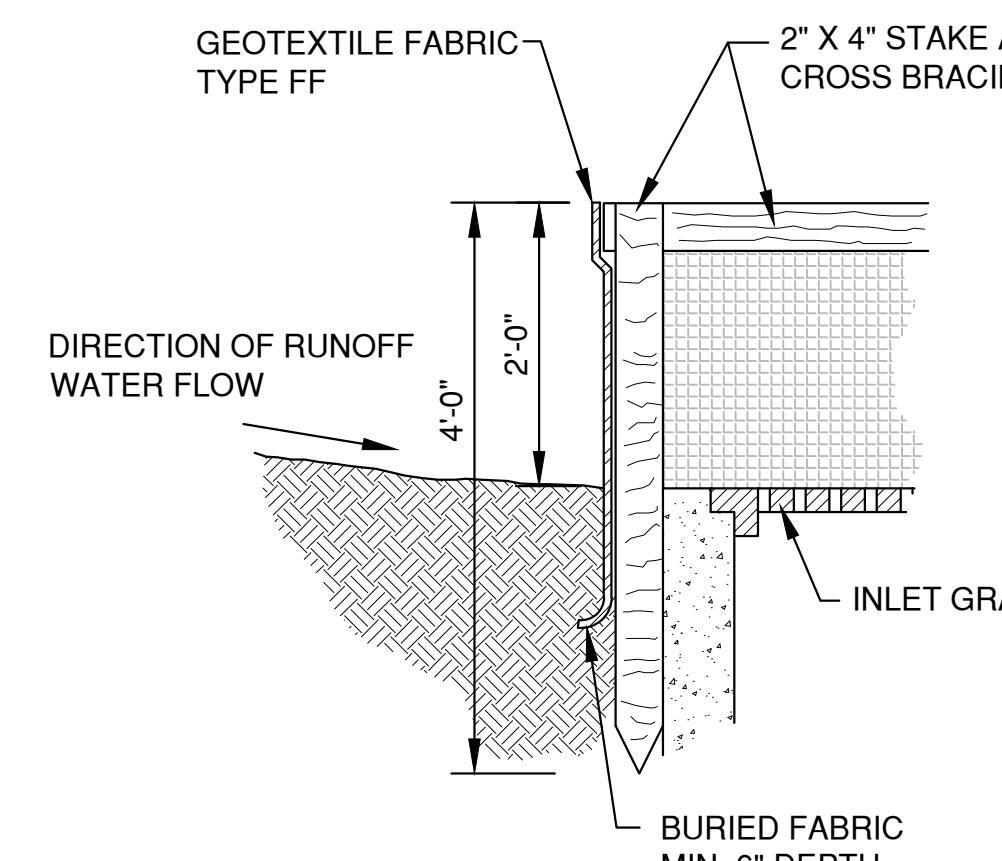
INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

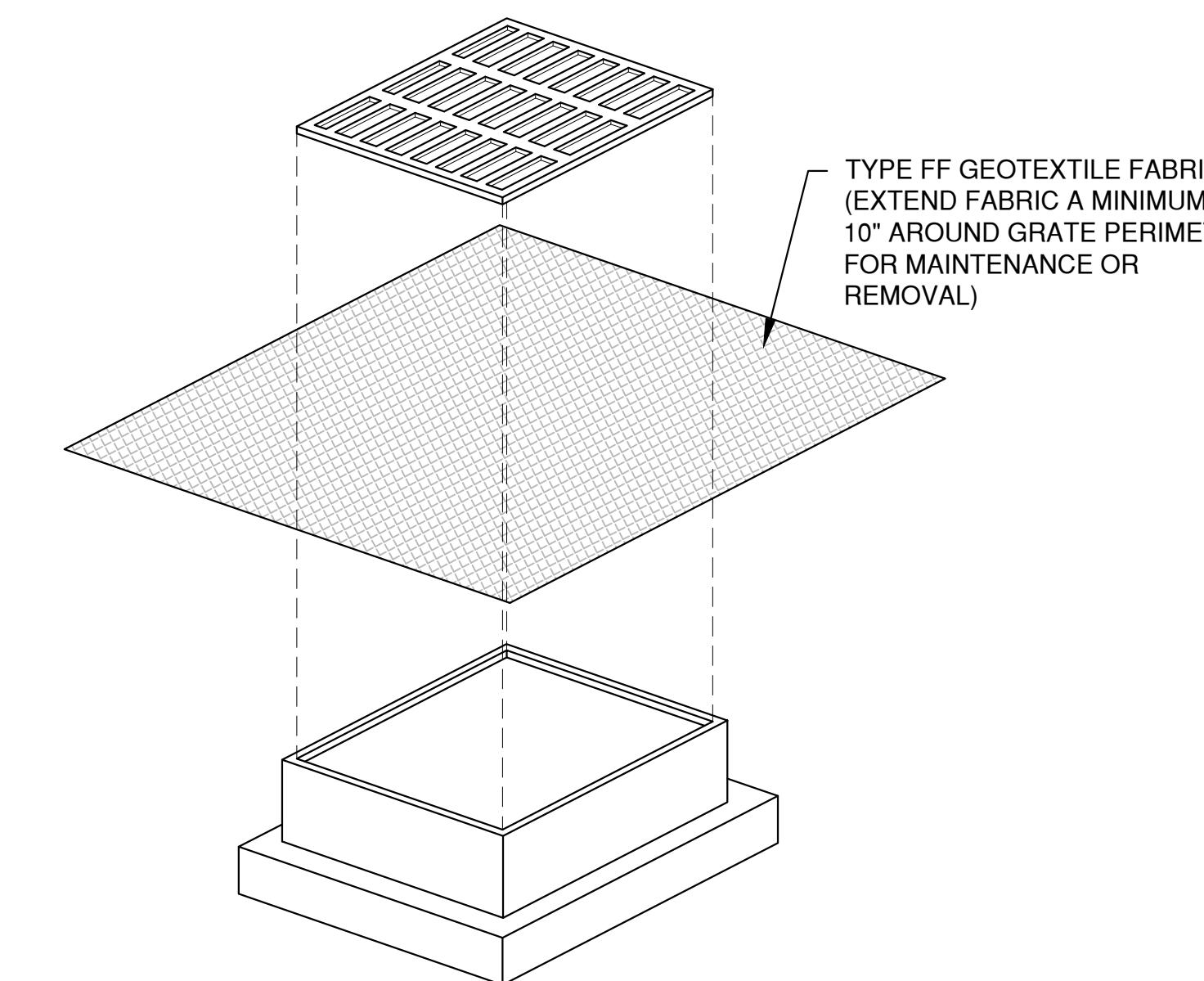
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

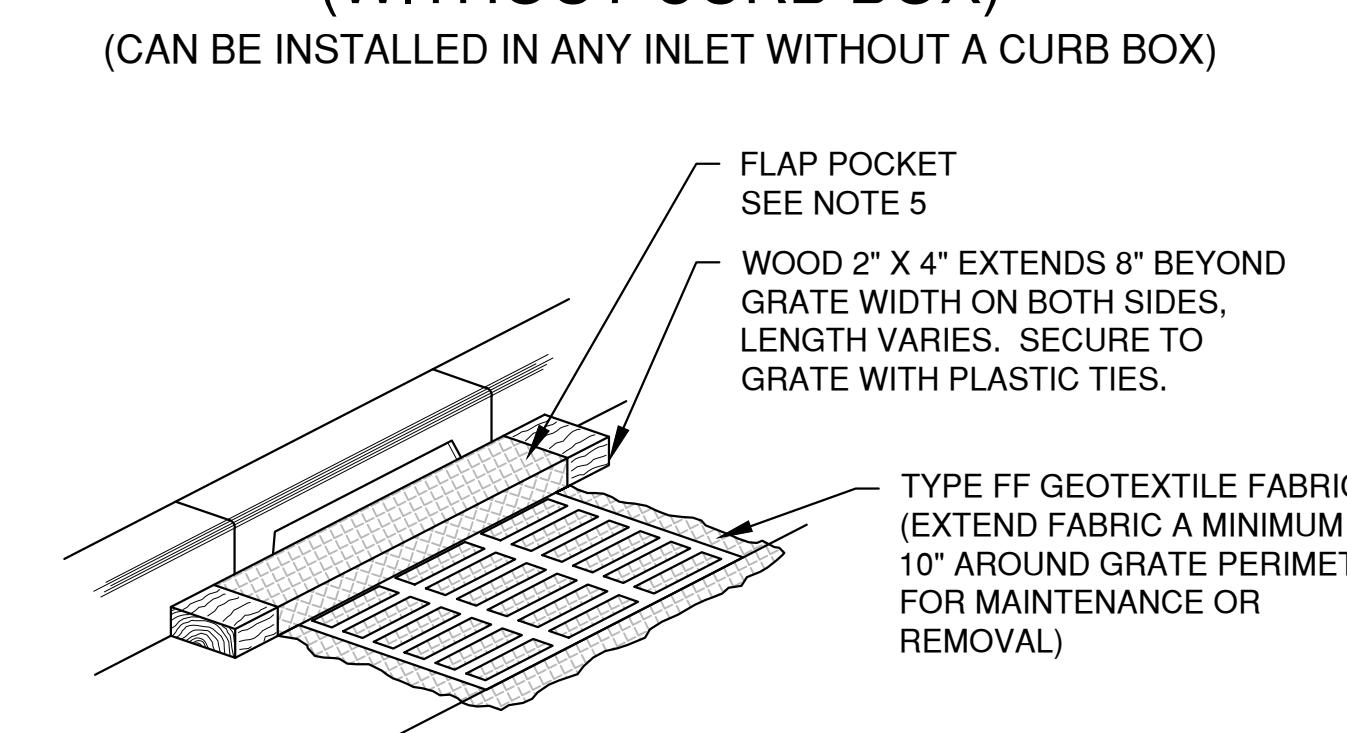
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)

INSTALLATION NOTES: TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

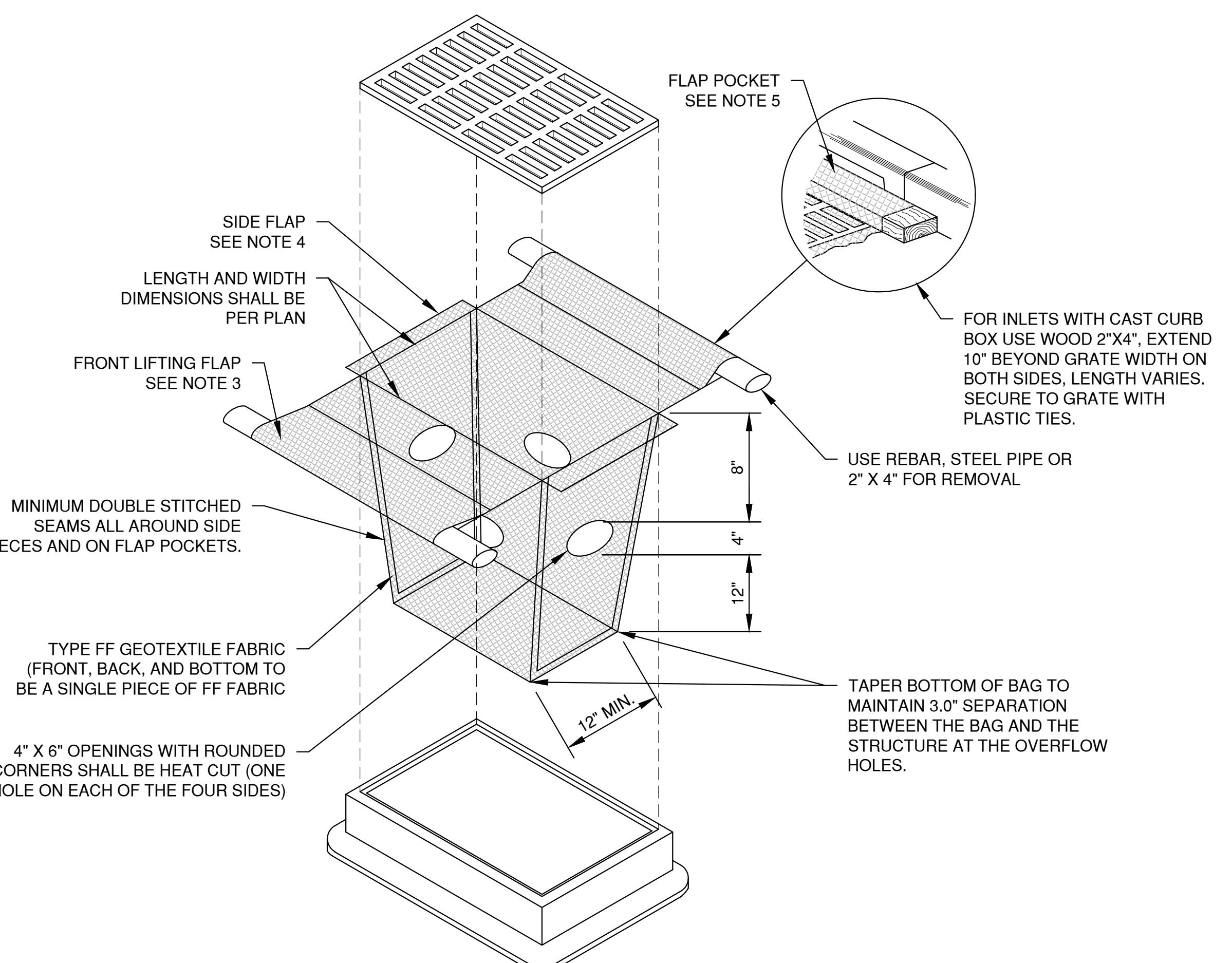
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.

2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.

3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.

4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN DRAWN CHECKED DESIGNED

NOTES:

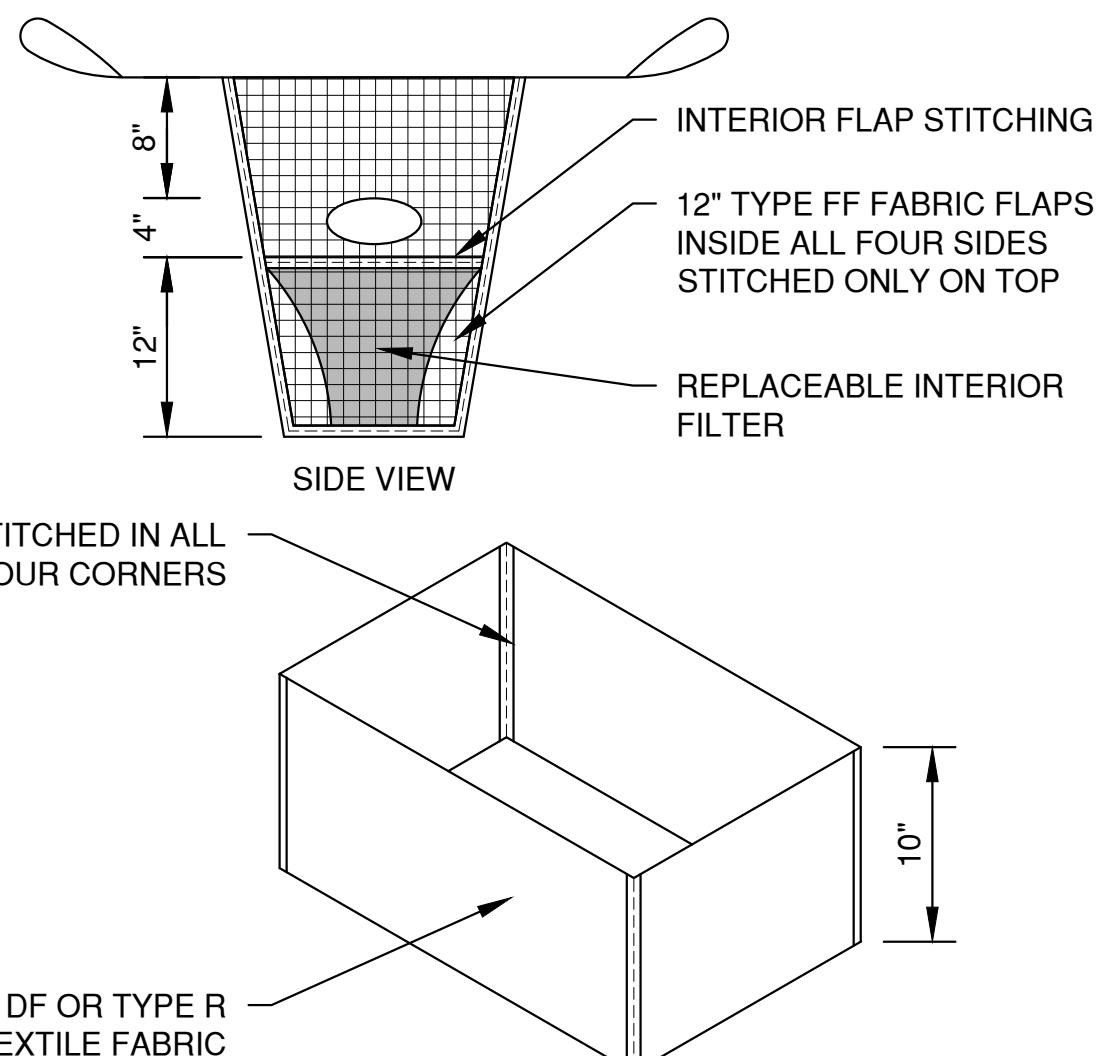
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

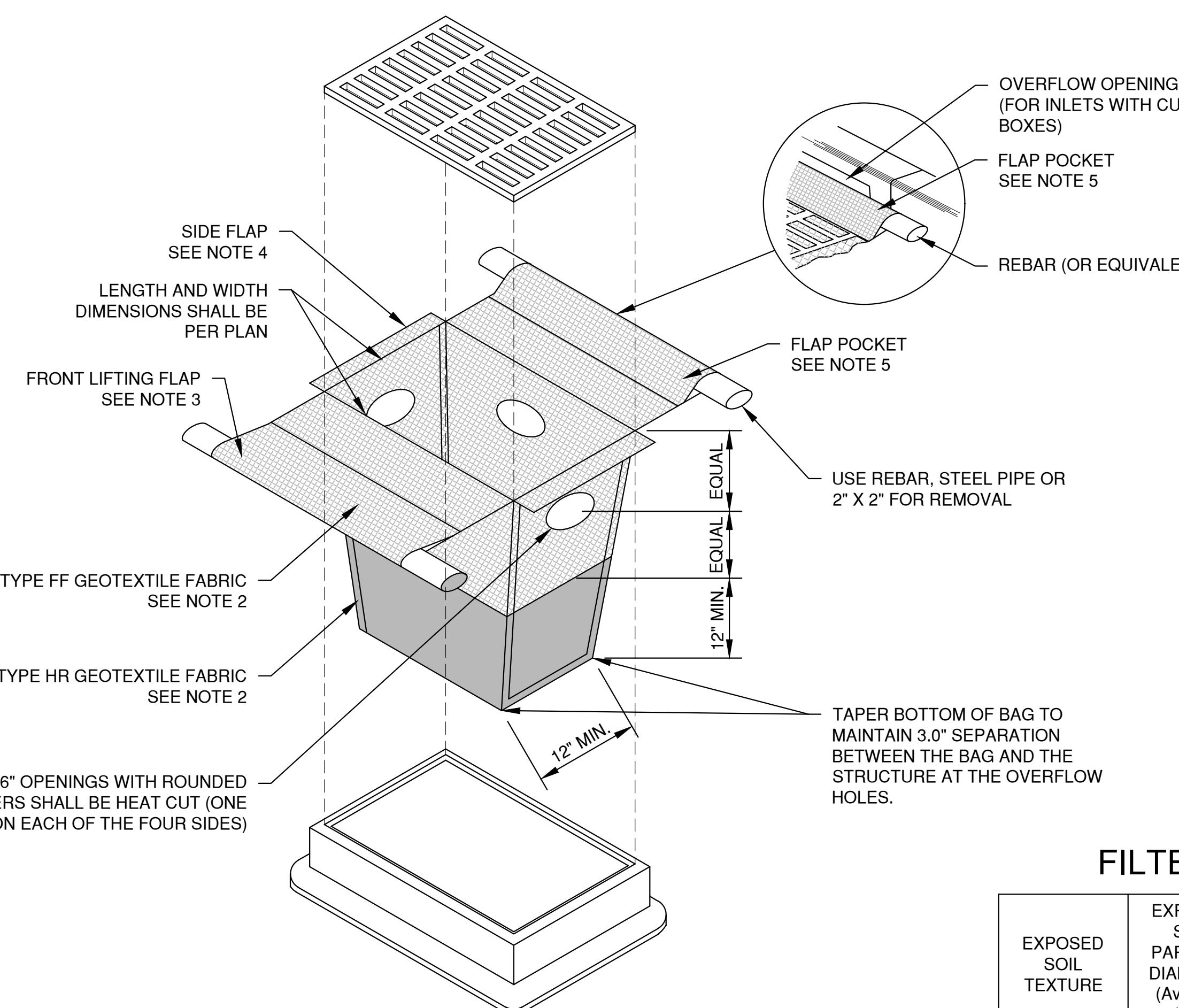
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR

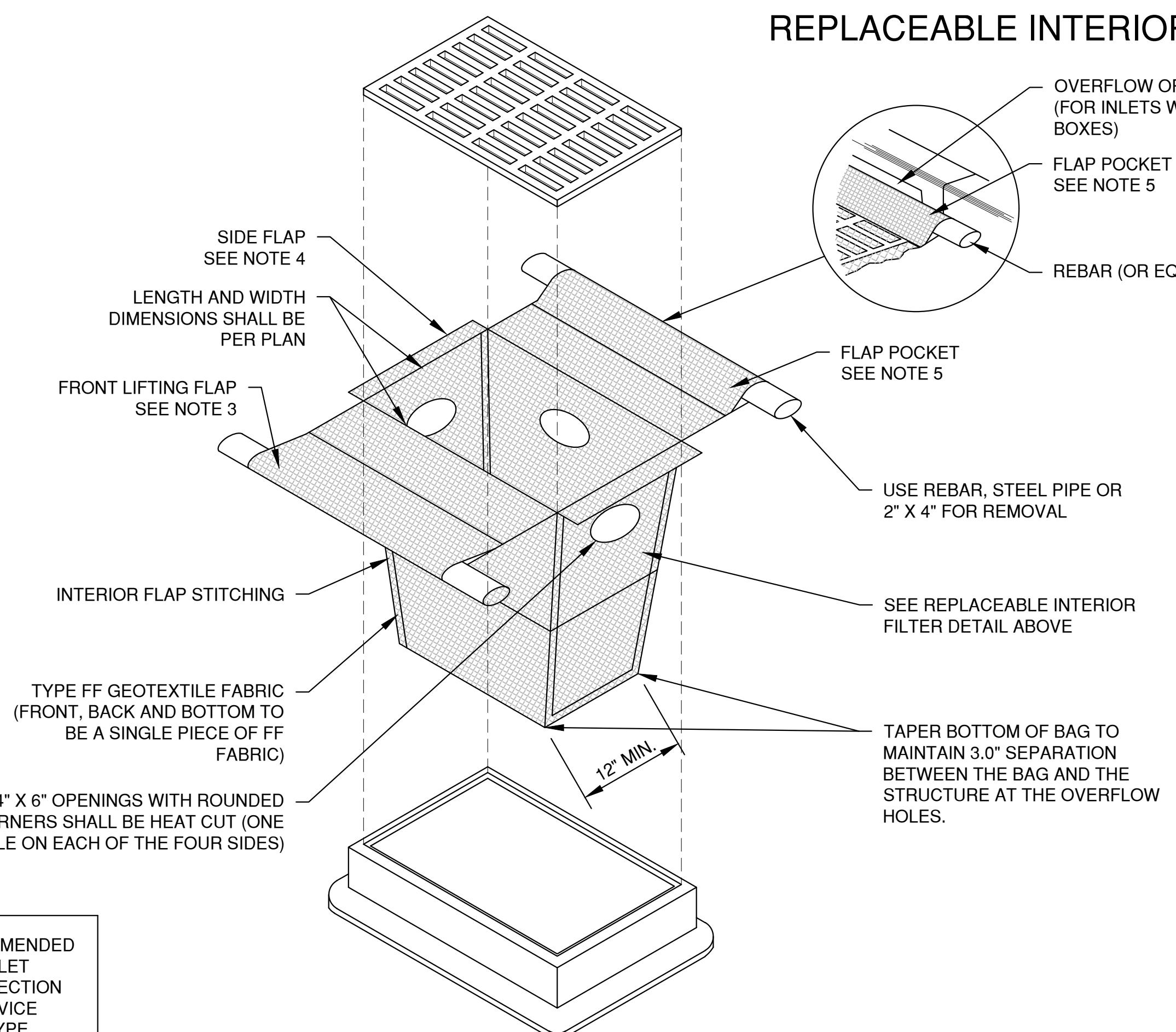
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥ 0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060



INLET PROTECTION, TYPE D-M

(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

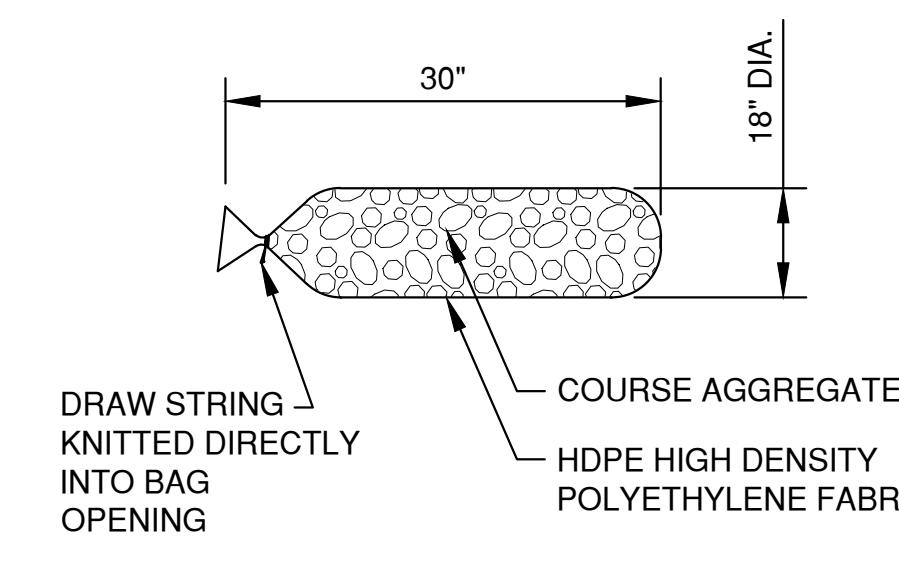
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								DESIGNED JGS

EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
DITCH CHECK DETAILS

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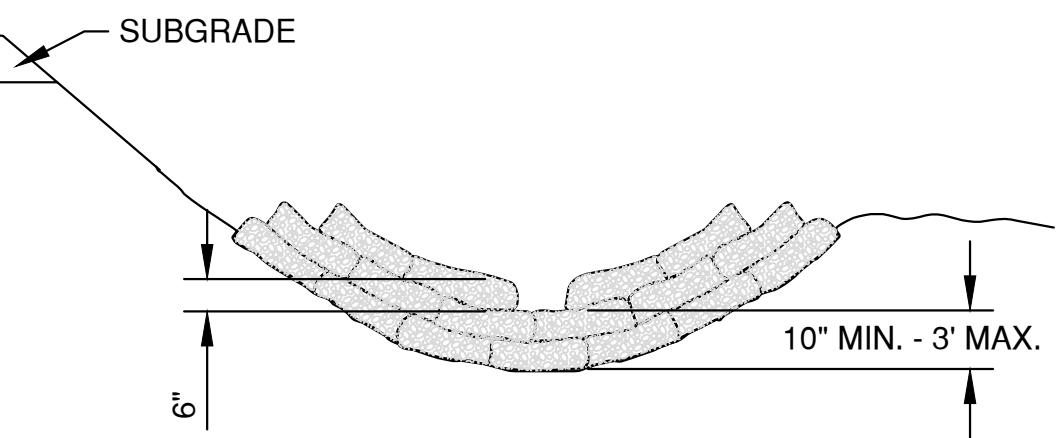
FILTER BAG DETAIL

NOTES:

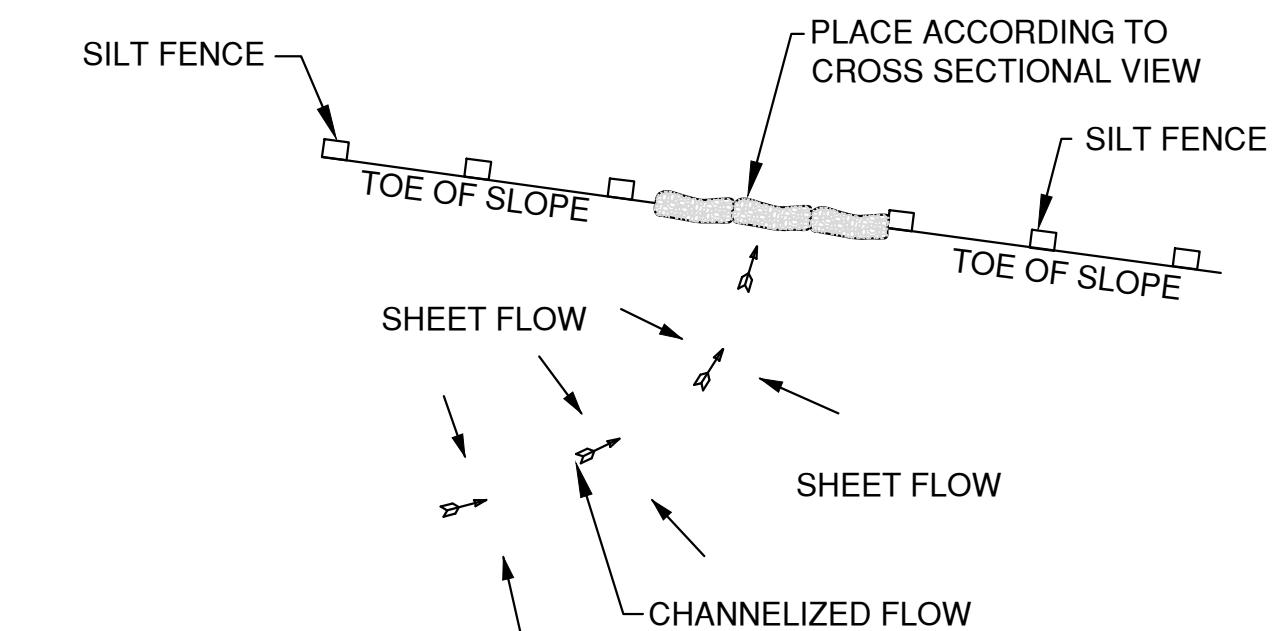
1. 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:
HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY
INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN
1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER
SEWING YARN FOR STRENGTH AND DURABILITY.
2. USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING
GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO.
2 INCH (50 mm)	-
1 1/2 INCH (37.5mm)	-
1 INCH (25.0 mm)	100
3/4 INCH (19.0mm)	90-100
3/8 INCH (9.5mm)	20-55
No. 4 (4.75mm)	0-10
No. 8 (2.36mm)	0-5

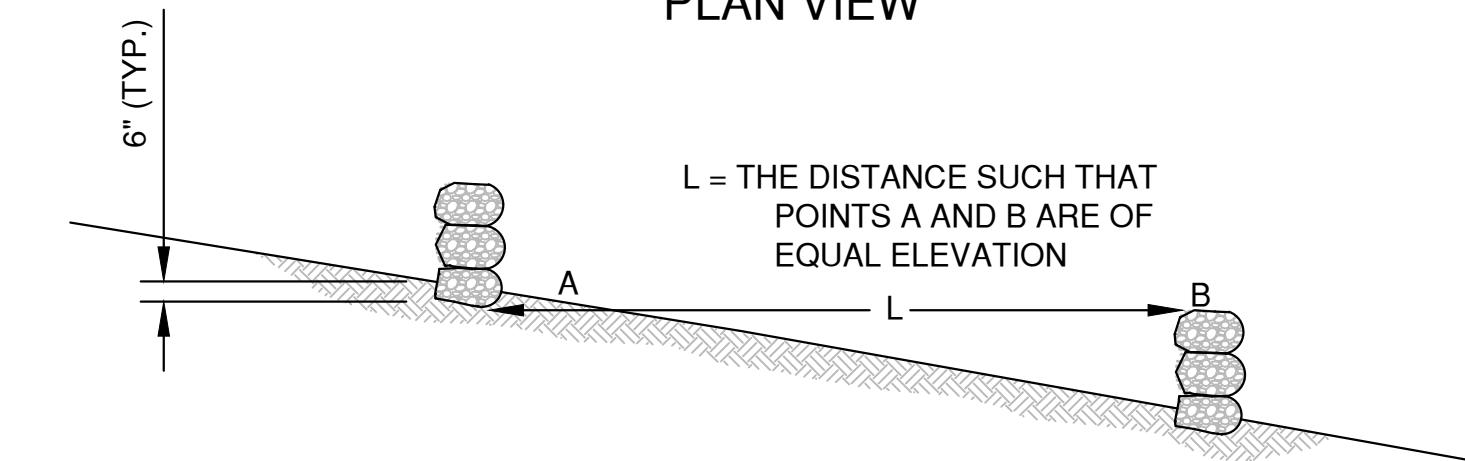
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW

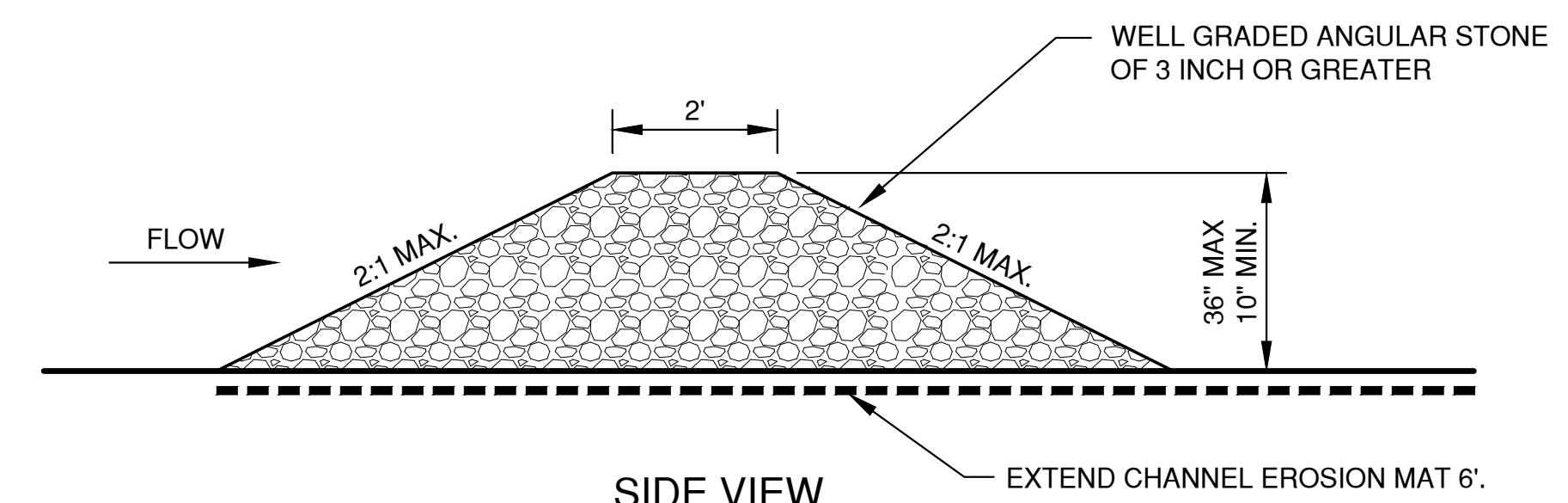


PLAN VIEW

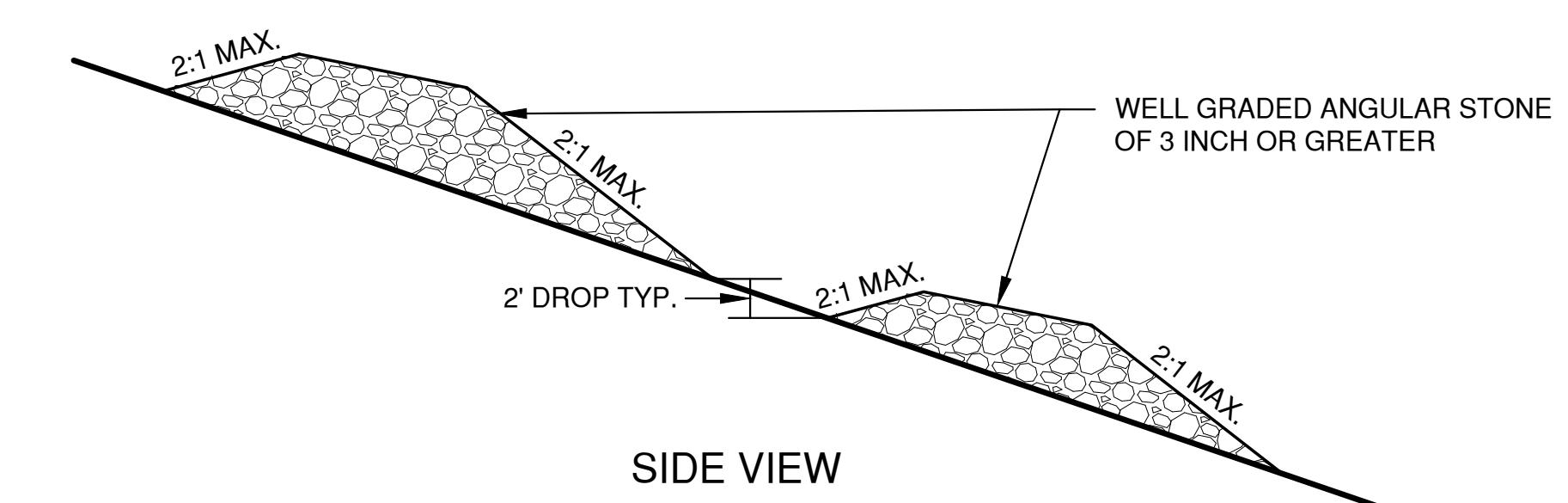


SIDE VIEW

DITCH CHECK DETAIL
ROCK FILLED EROSION CONTROL BAGS

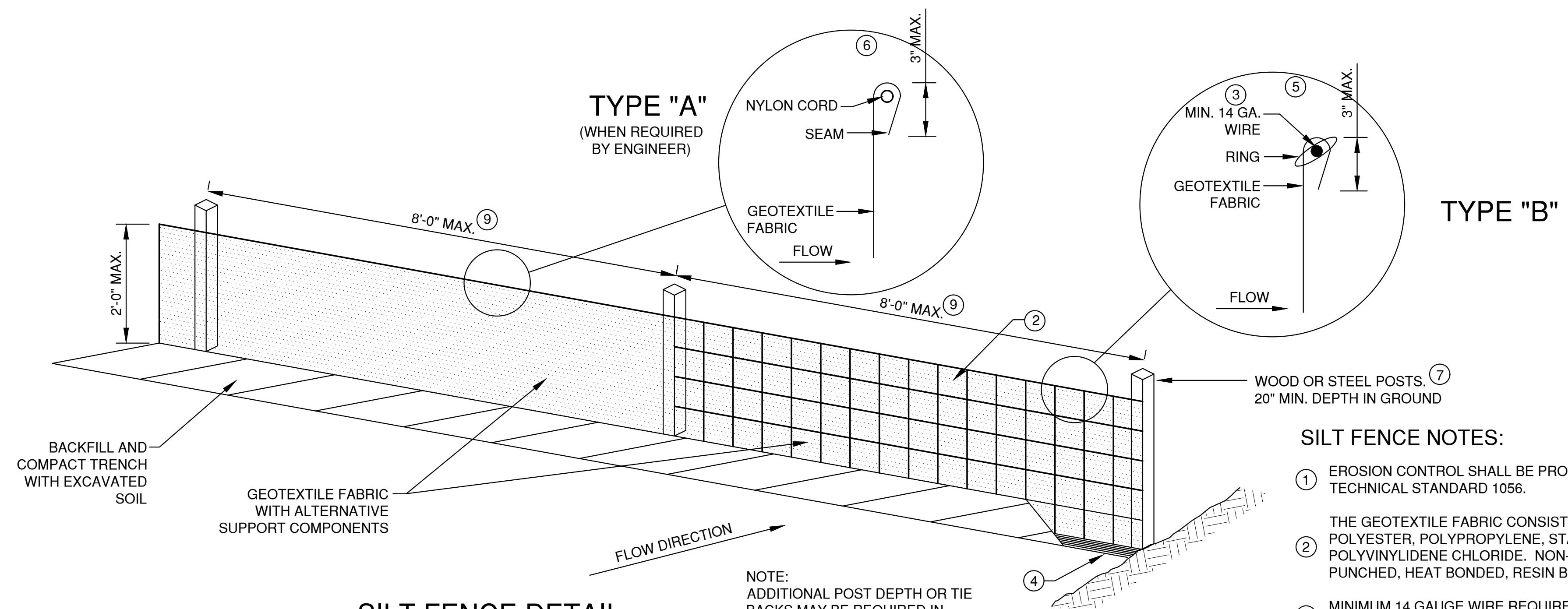


SIDE VIEW

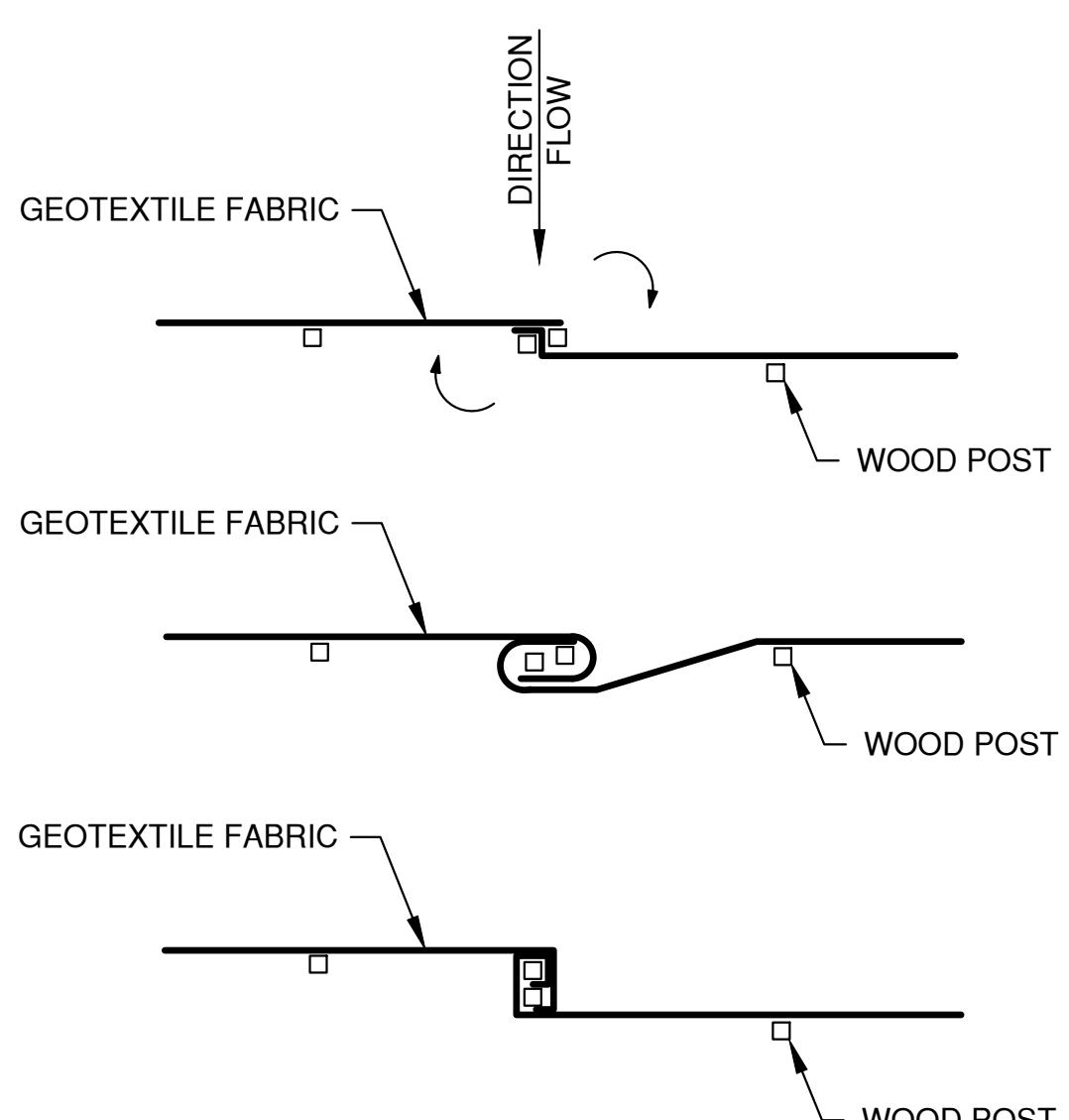


SIDE VIEW

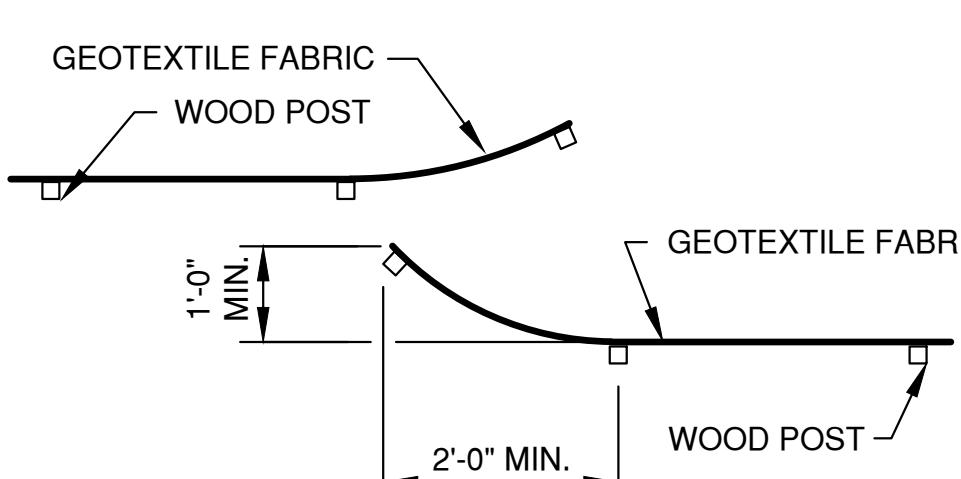
TEMPORARY DITCH CHECK USING STONE



SILT FENCE DETAIL

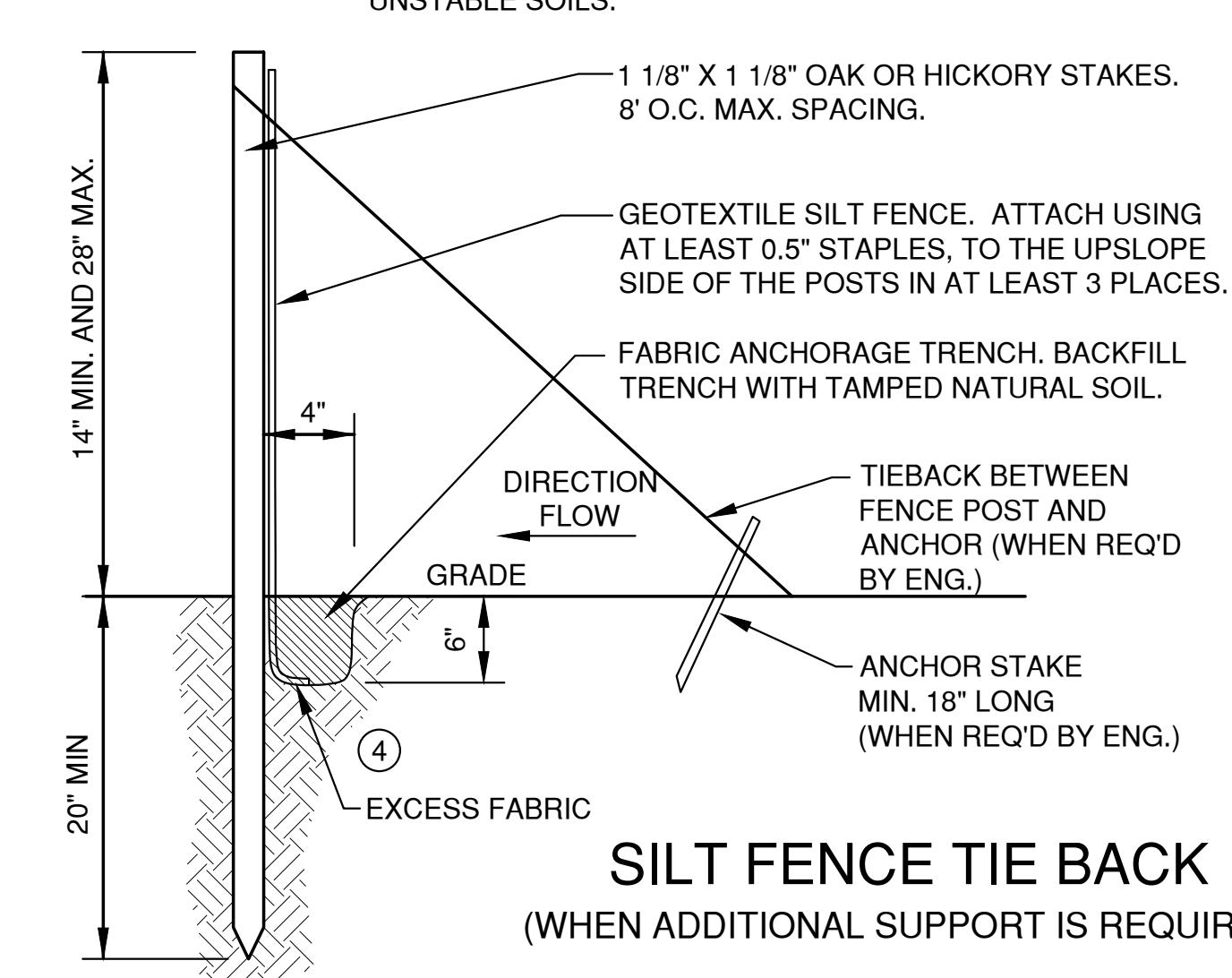


TWIST METHOD^⑧



HOOK METHOD (8)

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK

(WHEN ADDITIONAL SUPPORT IS REQUIRED)

EROSION CONTROL SHEET FLOW NOTES:

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

2. A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.

3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.

4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**

5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.

7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.

8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.

9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.

10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.

11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS

12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

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NO.	DATE	APPROV.	REVISION

	DRAWN LLP
	CHECKED ----
	DESIGNED 100

**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.**

**VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

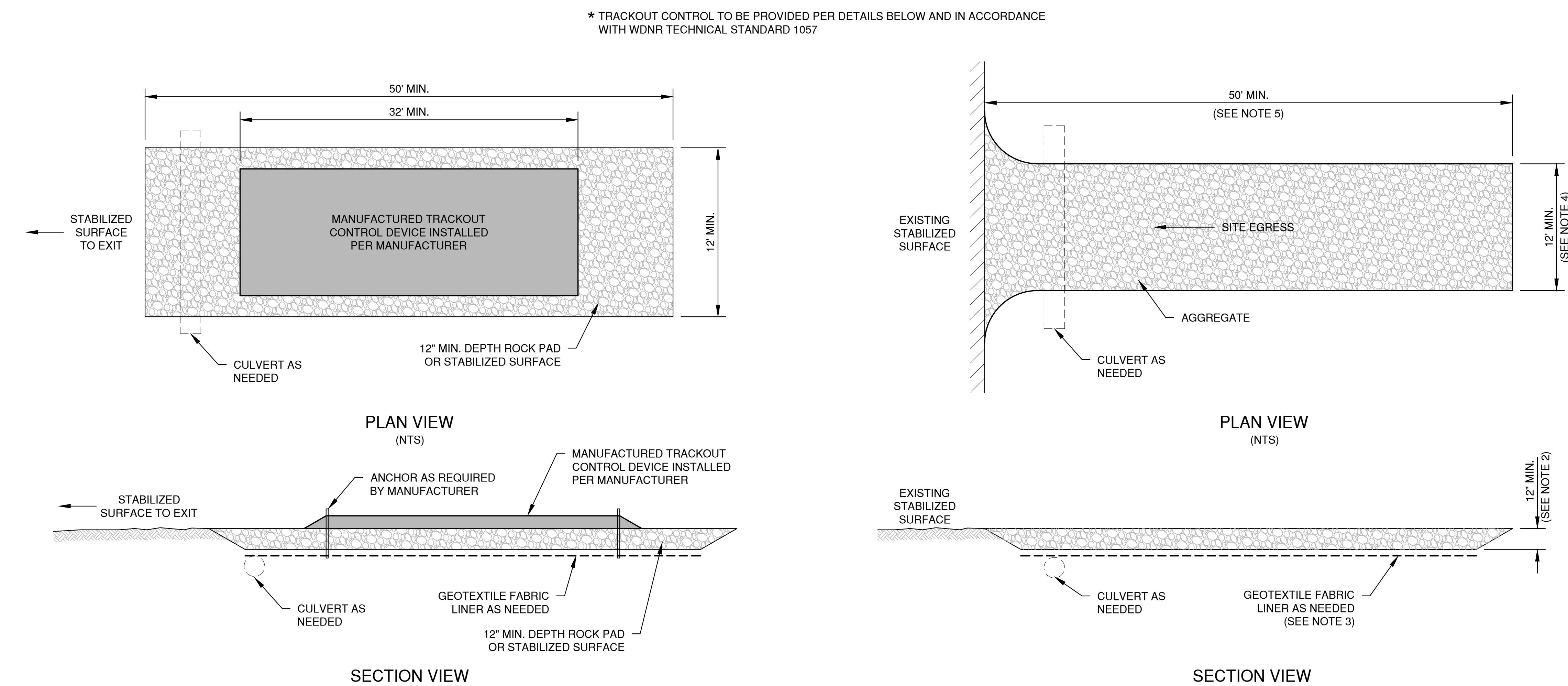
EROSION CONTROL
SHEET FLOW DETAIL

DATE
04/2024
FILE
4329161 EC
JOB NO.
4329161

 **REL** **Robert E. Lee**
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SHEET M
22



NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURER'S TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL

NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP
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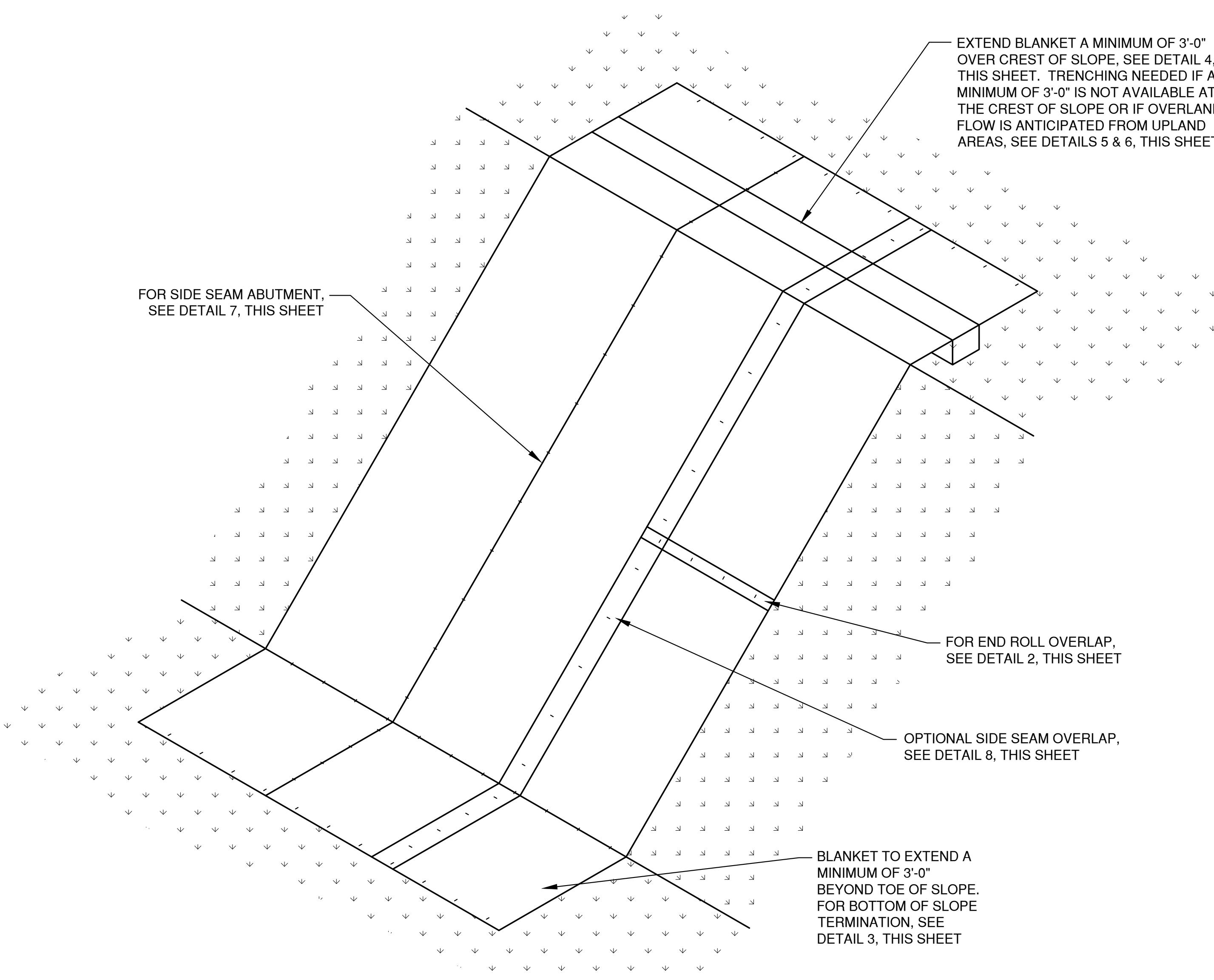
EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
TRACKOUT CONTROL PRACTICES

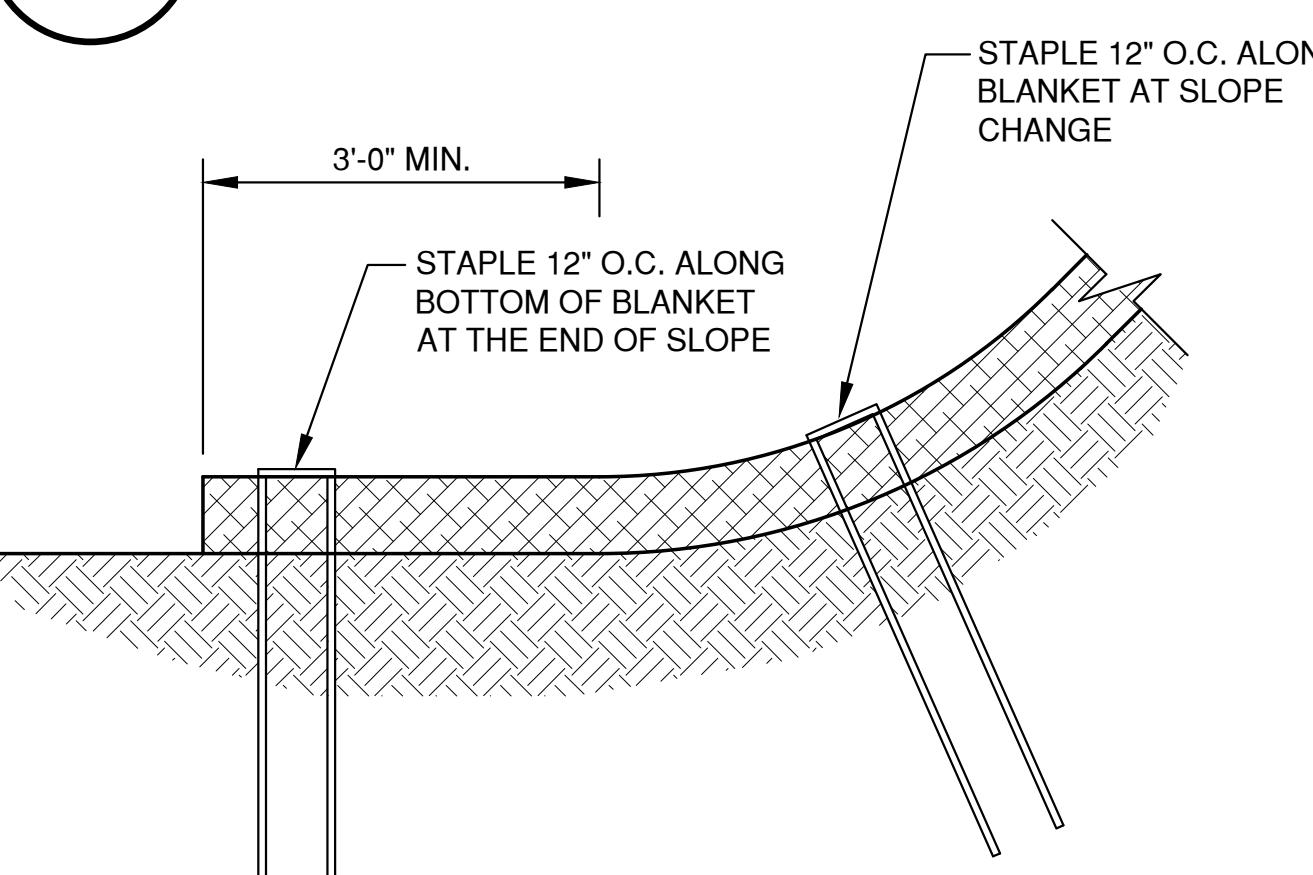
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SLOPE DETAIL

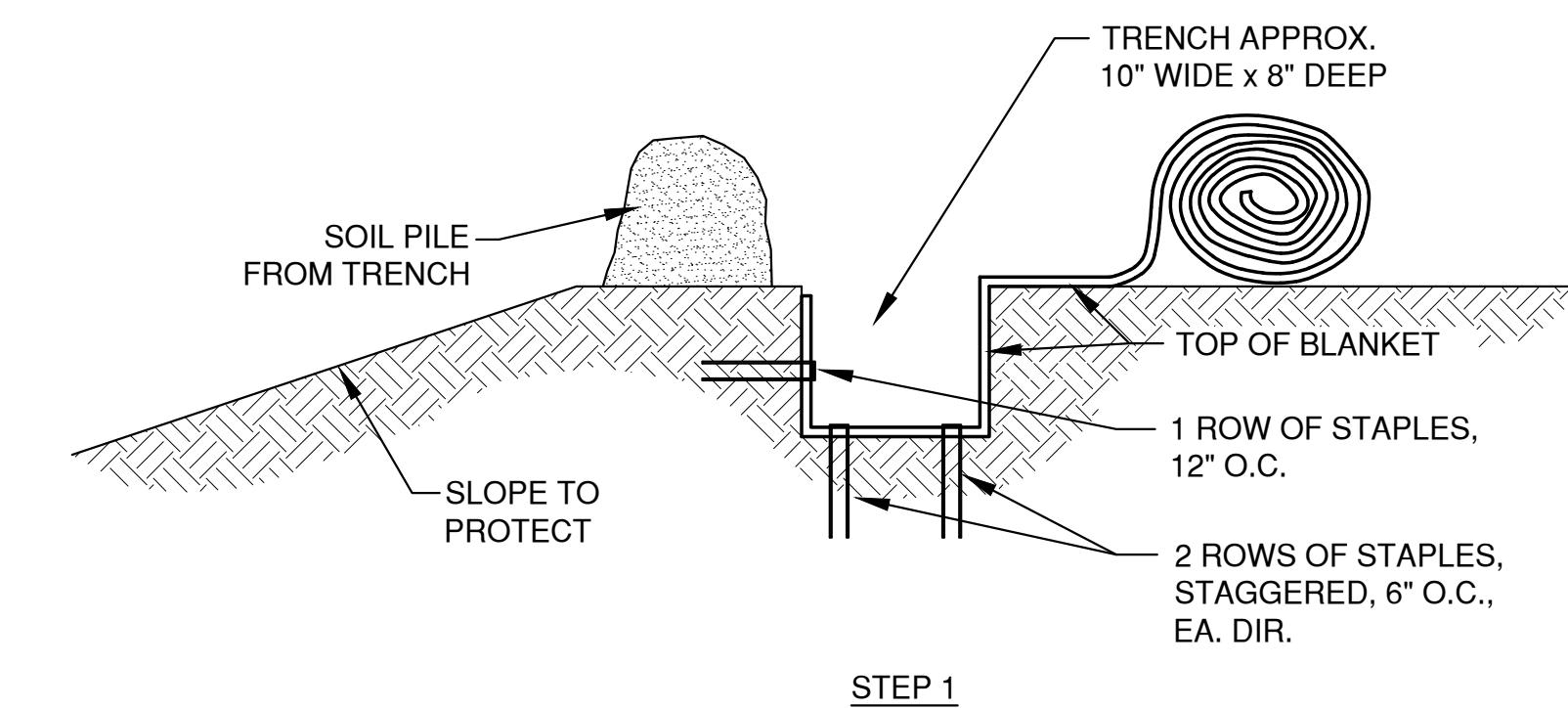
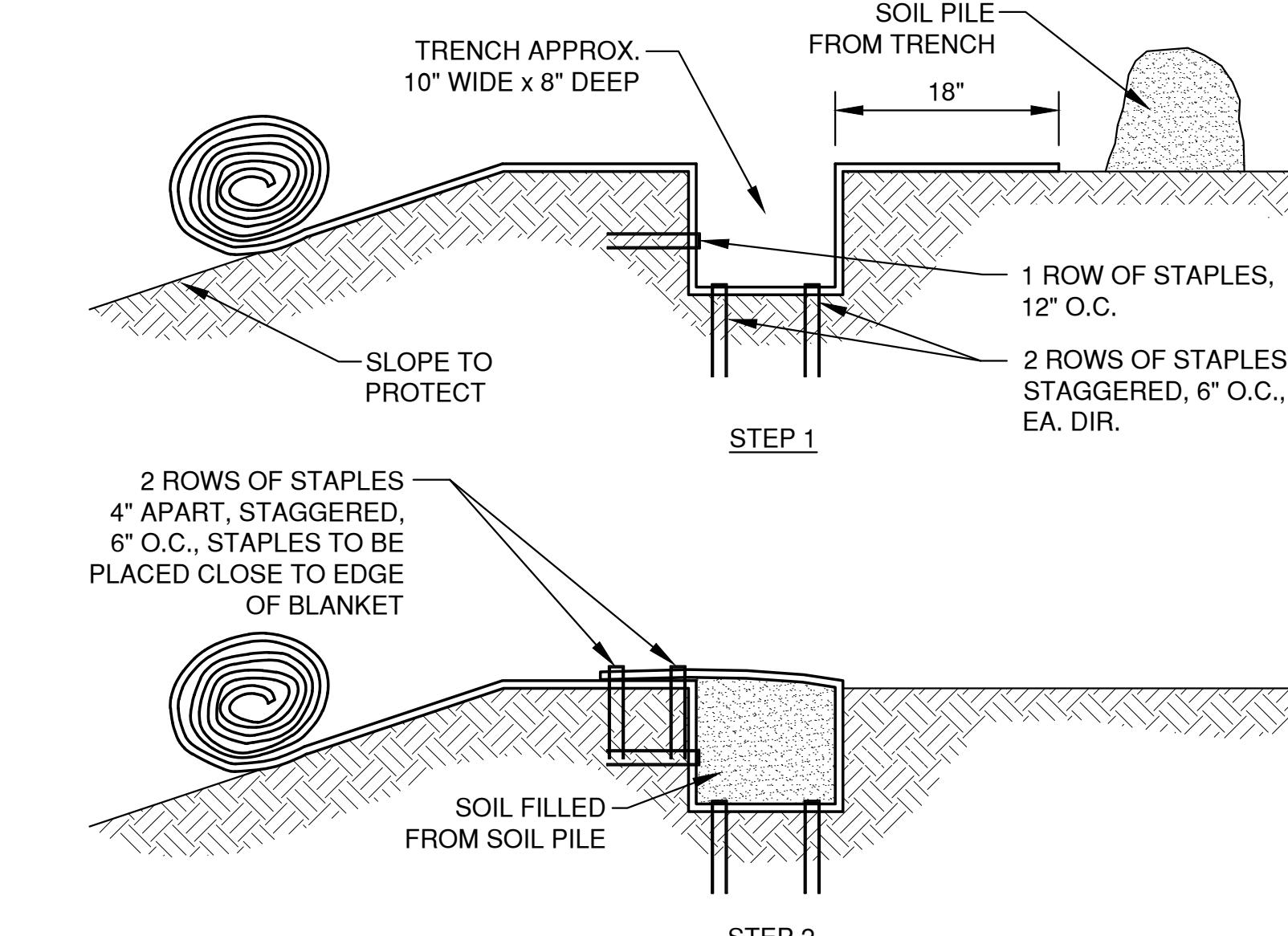
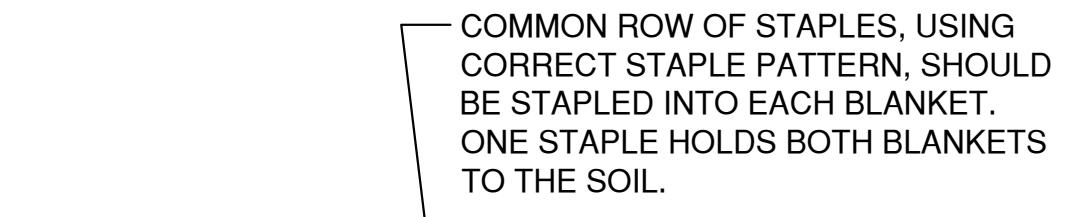
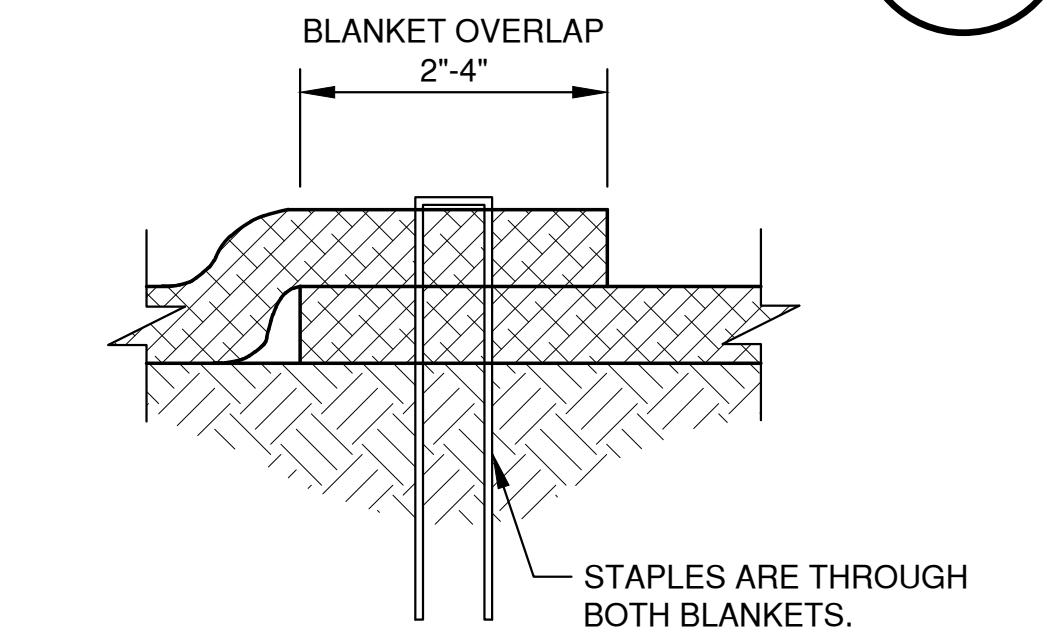


END ROLL OVERLAP

BOTTOM OF SLOPE TERMINATION



3

SLOPE CREST ANCHOR
METHOD "A" (NO TRENCH)4
DO NOT NEED TO TRENCH BLANKET IF IT CAN BE EXTENDED A MINIMUM OF 3'-0" OVER THE CREST OF THE SLOPE.SLOPE TRENCHING
METHOD "B"5
STEP 1
STEP 2SLOPE TRENCHING
METHOD "C"6
STEP 1
STEP 2SIDE SEAM ABUT
STAPLE DETAILSIDE SEAM OVERLAP
STAPLE DETAIL

NOTES:

1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.

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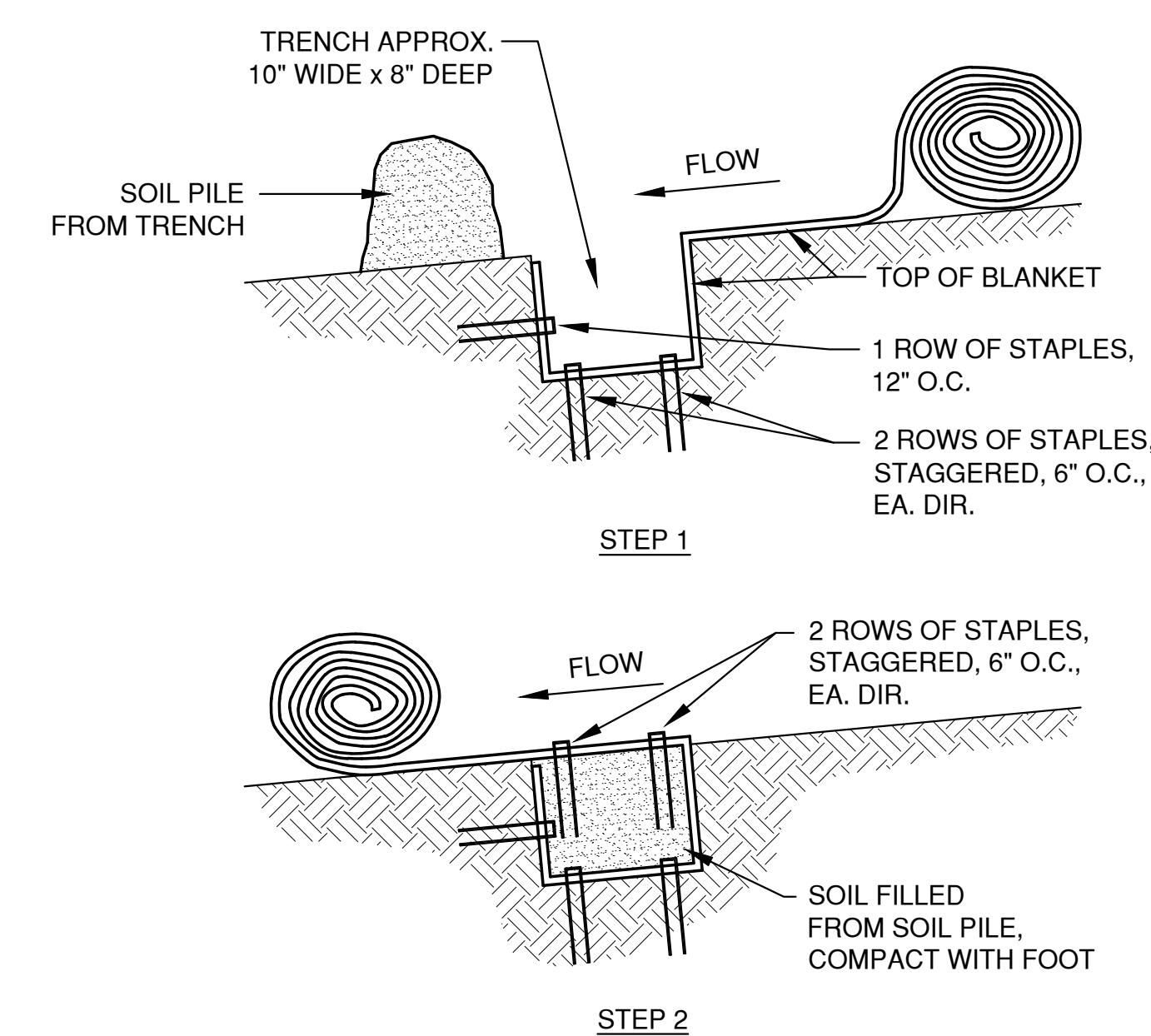
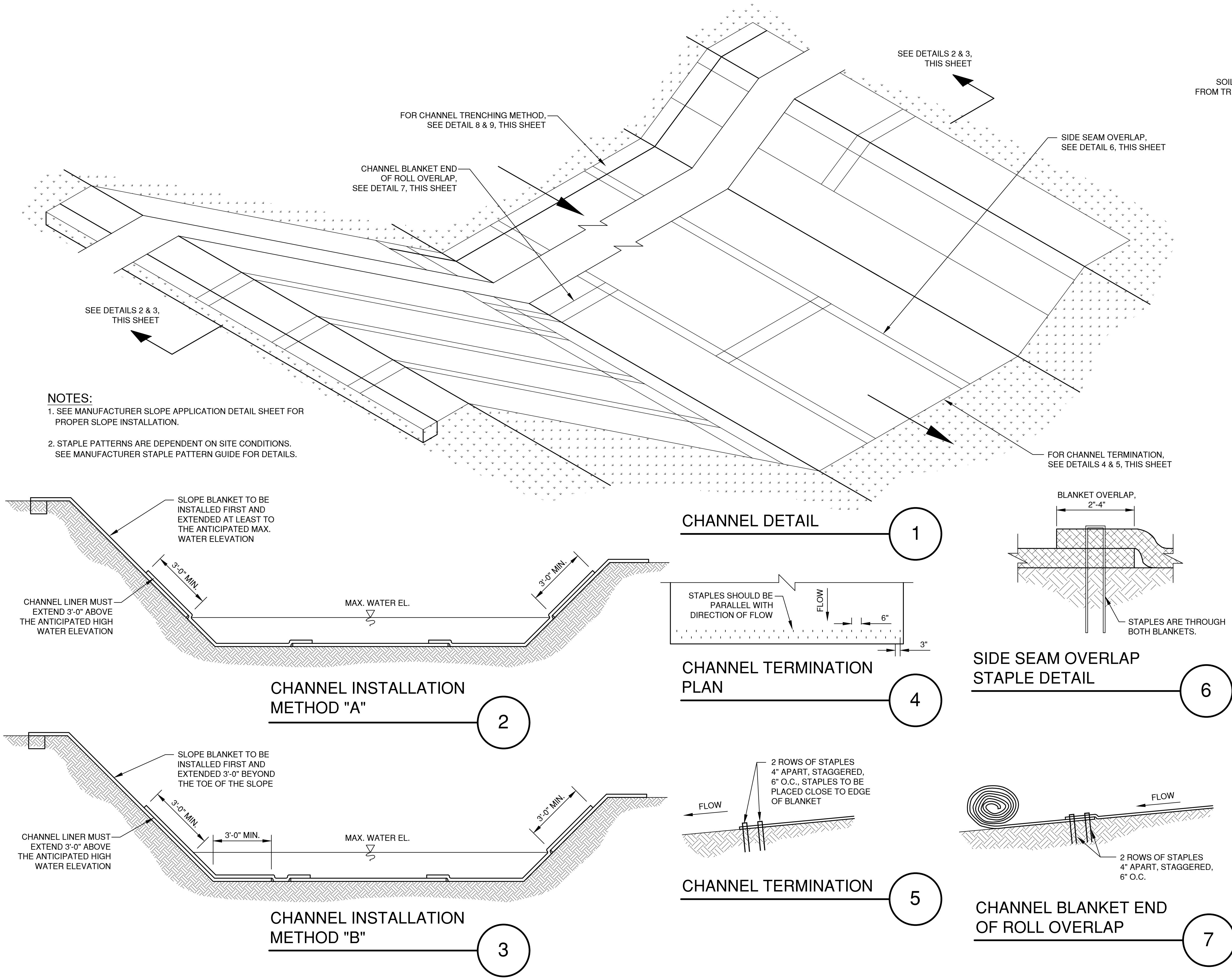
EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
EROSION MAT
SLOPE APPLICATION DETAILS

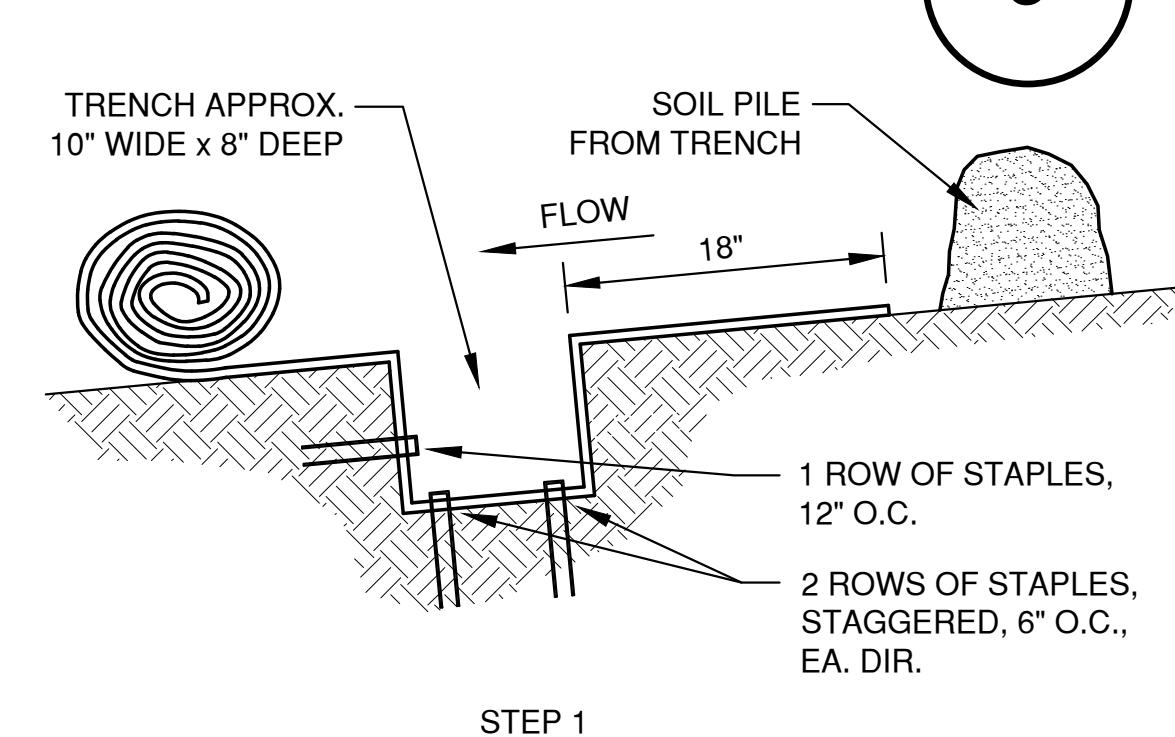
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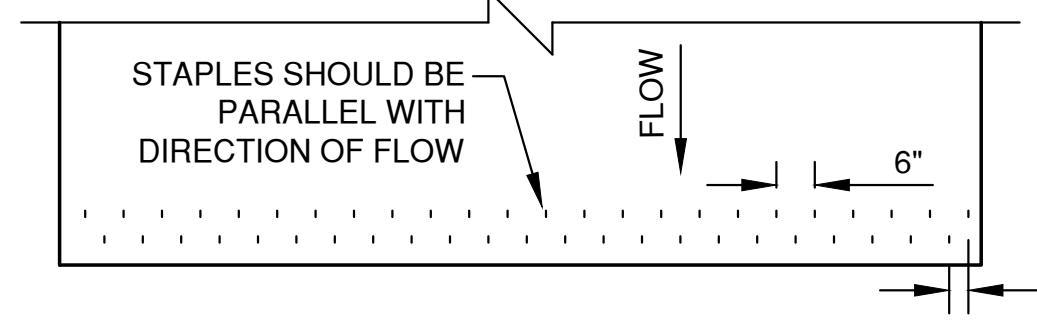
24



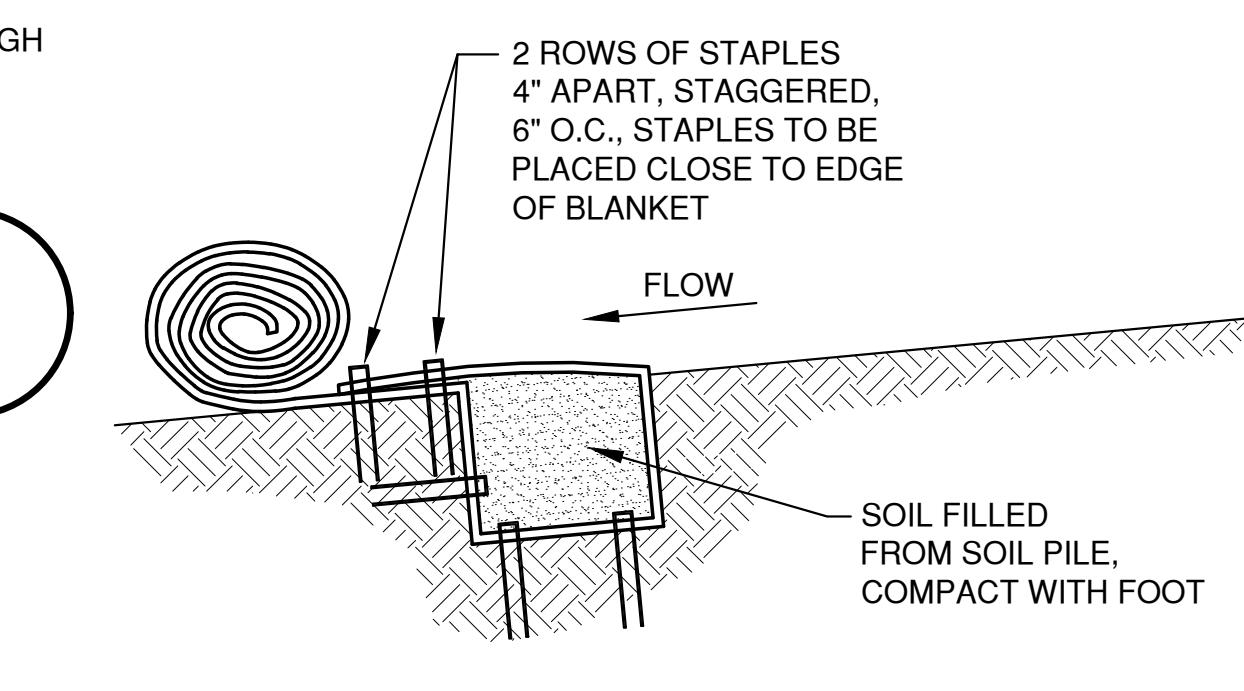
CHANNEL TRENCHING METHOD "A"



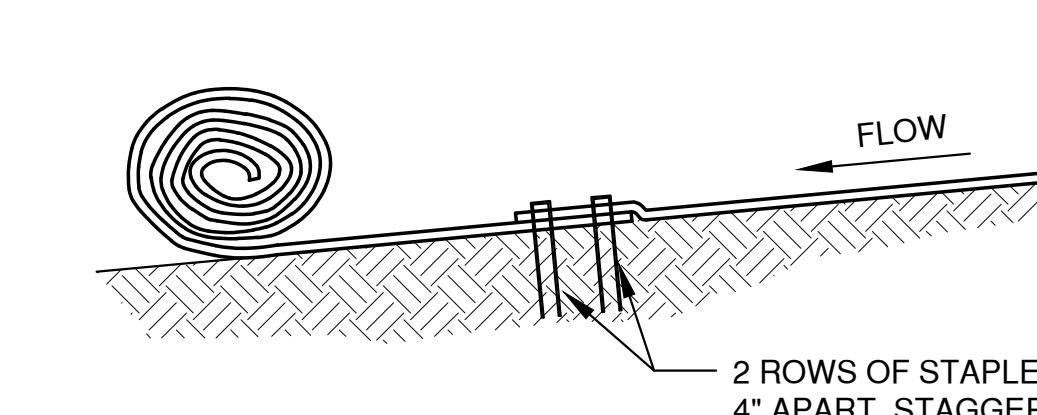
SIDE SEAM OVERLAP STAPLE DETAIL



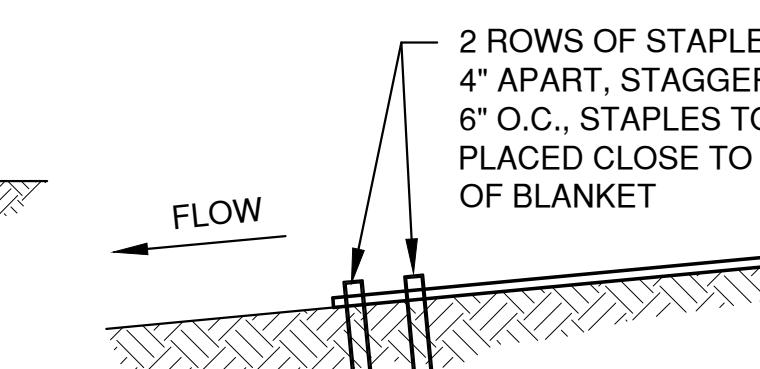
CHANNEL TERMINATION PLAN



CHANNEL TRENCHING METHOD "B"



CHANNEL BLANKET END OF ROLL OVERLAP



CHANNEL TERMINATION

NO.	DATE	APPROV.	REVISION

NO.	DATE	APPROV.	REVISION

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**EVANTRA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF LITTLE CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

EROSION CONTROL EROSION MAT CHANNEL APPLICATION DETAIL

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LANDSCAPE PLAN



1" = 50'

LANDSCAPE INSTALLATION NOTES:

GENERAL:
-Landscape contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.

-Landscape contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.

-All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.

-Quantities of material shown on plan take precedence over the specification list or legend.

-If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.

PLANTING:

-When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.

-All plant tags should be removed from material by landscape contractor.

-All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.

-Edge all beds with a spade cut edge unless otherwise noted.

-All backfill around plant material rootballs should receive a soil mix of 4 parts (pulverized) topsoil to 1 part fine, organic compost.

-All wire baskets and stakes should be removed during planting.

-Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.

-All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

PLANT SCHEDULE

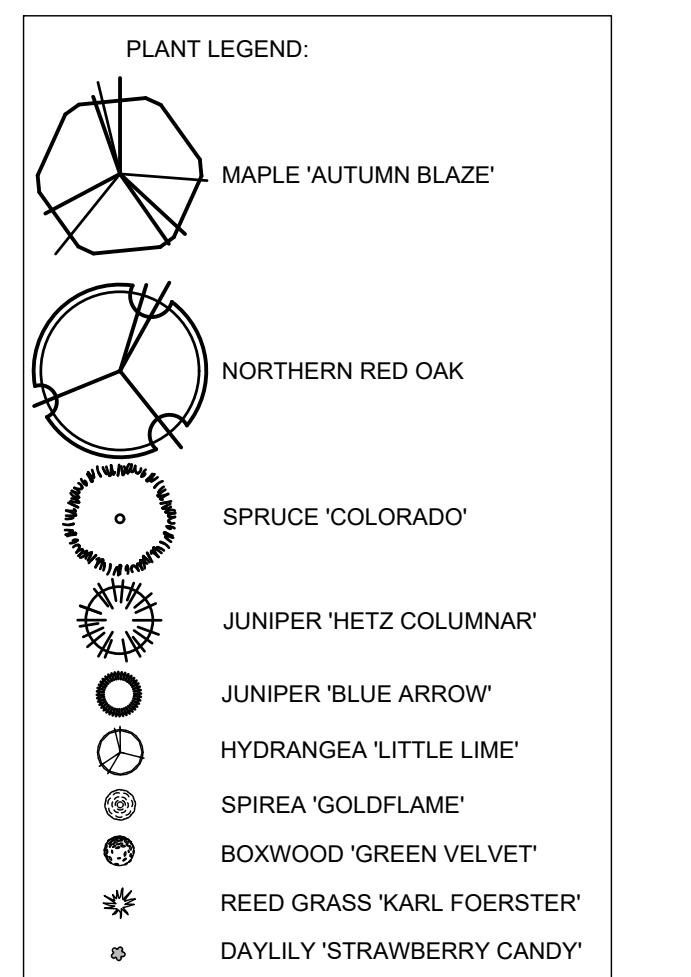
	QTY	COMMON NAME / BOTANICAL NAME	SIZE
TREES			
ACE	16	Maple 'Autumn Blaze' - Acer x freemanii	2.5"
QUE	16	Oak Northern Red' - Quercus rubra	2.5"
HETZ	15	Juniperus chinensis 'Hetzii Columnaris' - Juniper 'Hetz'	5'
PIC	8	Spruce Colorado Blue' - Picea pungens	5'
SHRUBS			
HYD	188	Hydrangea 'Little Lime' - Hydrangea paniculata 'Jane'	#5 18"
SPI	137	Spiraea x bumalda 'Goldflame' - Spiraea 'Goldflame'	#5 18"
BUX	332	Buxus x 'Green Velvet' - Boxwood 'Green Velvet'	#5 18"
ORNAMENTAL GRASSES			
CAL	134	Calamagrostis acutiflora 'Karl Foerster' - Grass, Feather Reed	#1
PERENNIALS			
HEM	205	Hemerocallis 'Strawberry Candy' - Daylily 'Strawberry Candy'	#1

**Evantra - A Multifamily Development
For Lexington Homes, INC.
Golden Gate Drive
Village Of Chute, Wisconsin 54913**

This drawing is conceptual and is only to be used as a guide for construction. The completed project may differ from this plan in appearance and dimension.

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Drawing Completed:
8-12-2024
8-13-2024
8-15-2024



LANDSCAPE REQUIREMENTS:

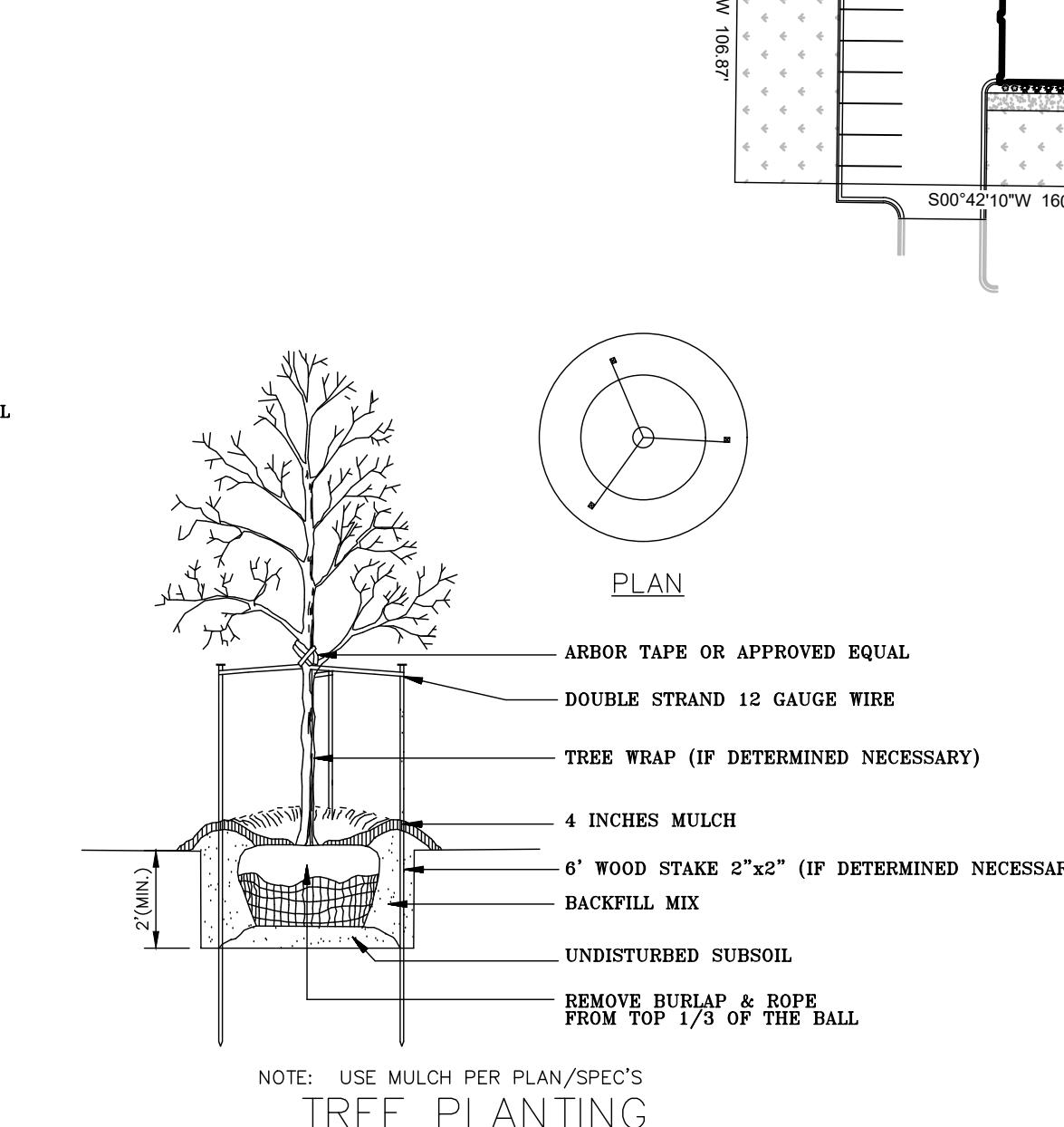
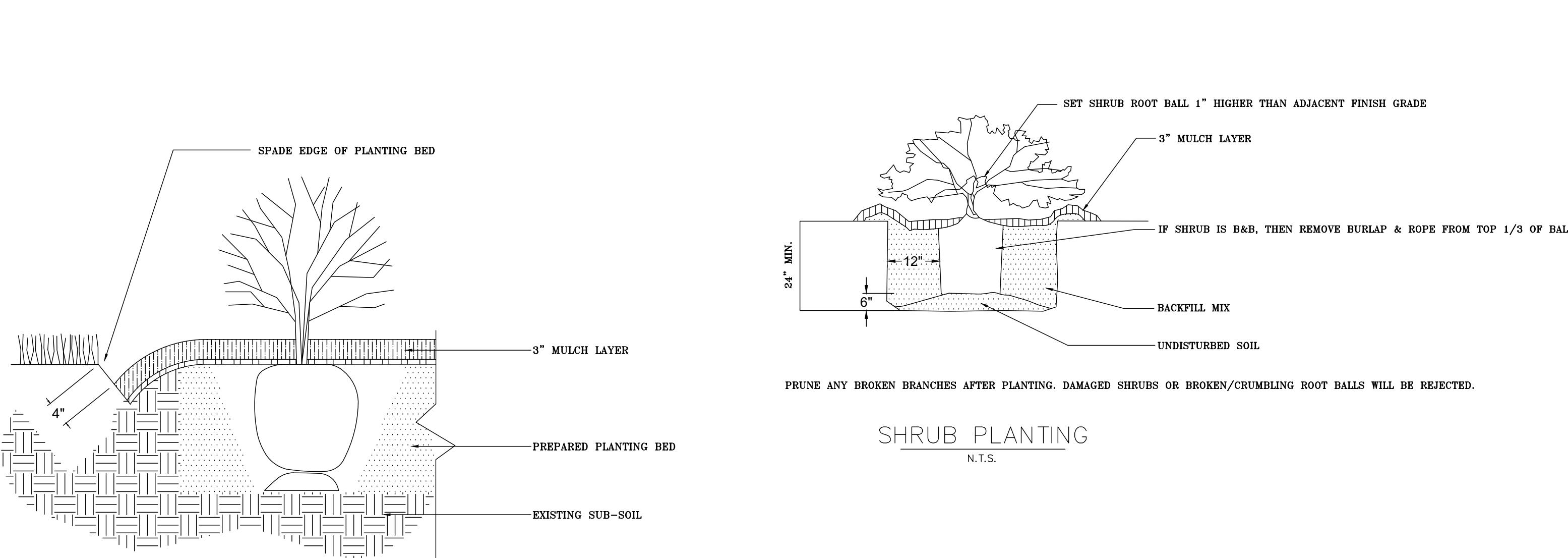
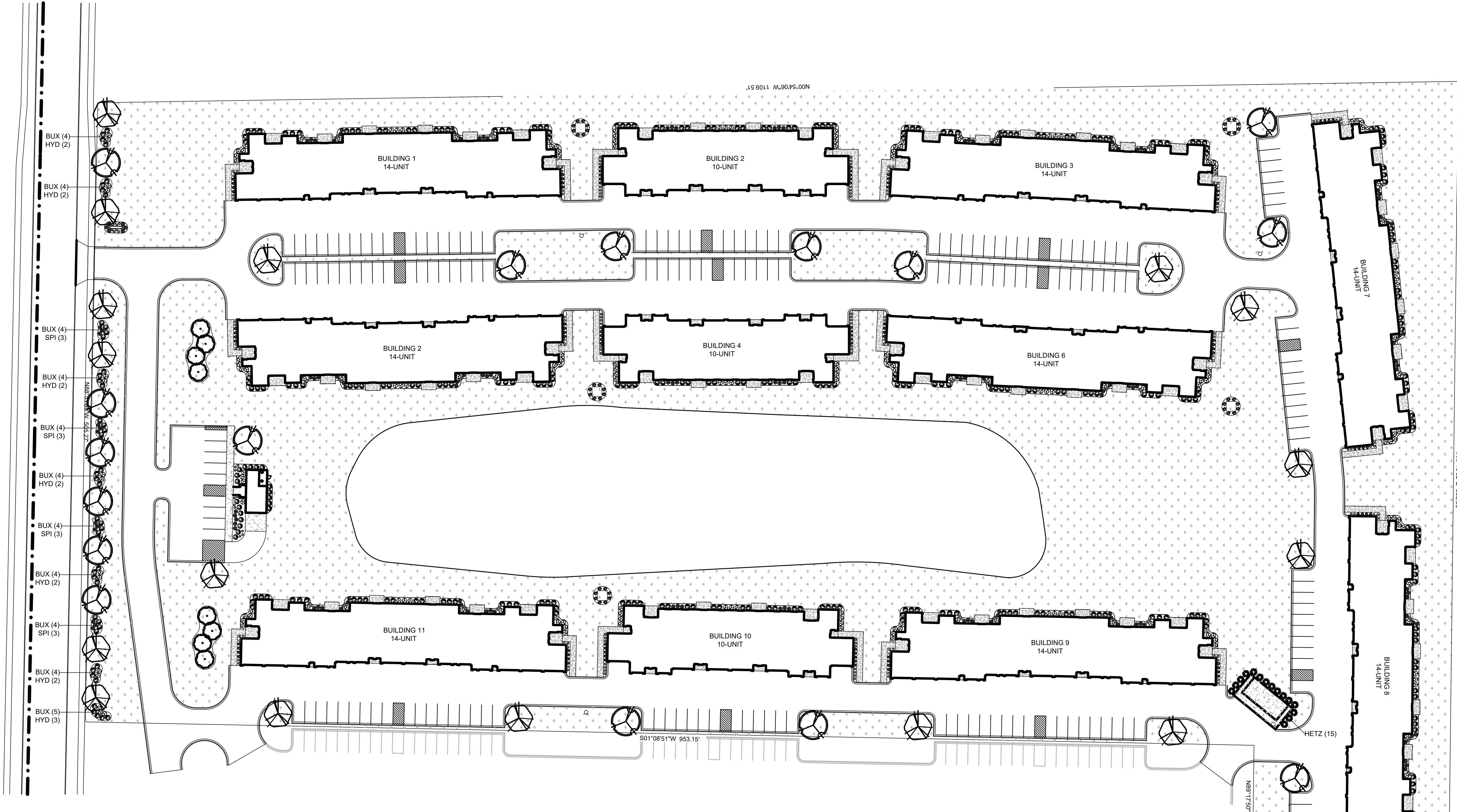
Lot Line Landscaping: Lot line landscape strips in RM zoning districts shall be planted with a minimum of one shade tree and six shrubs per 40 linear feet of frontage.

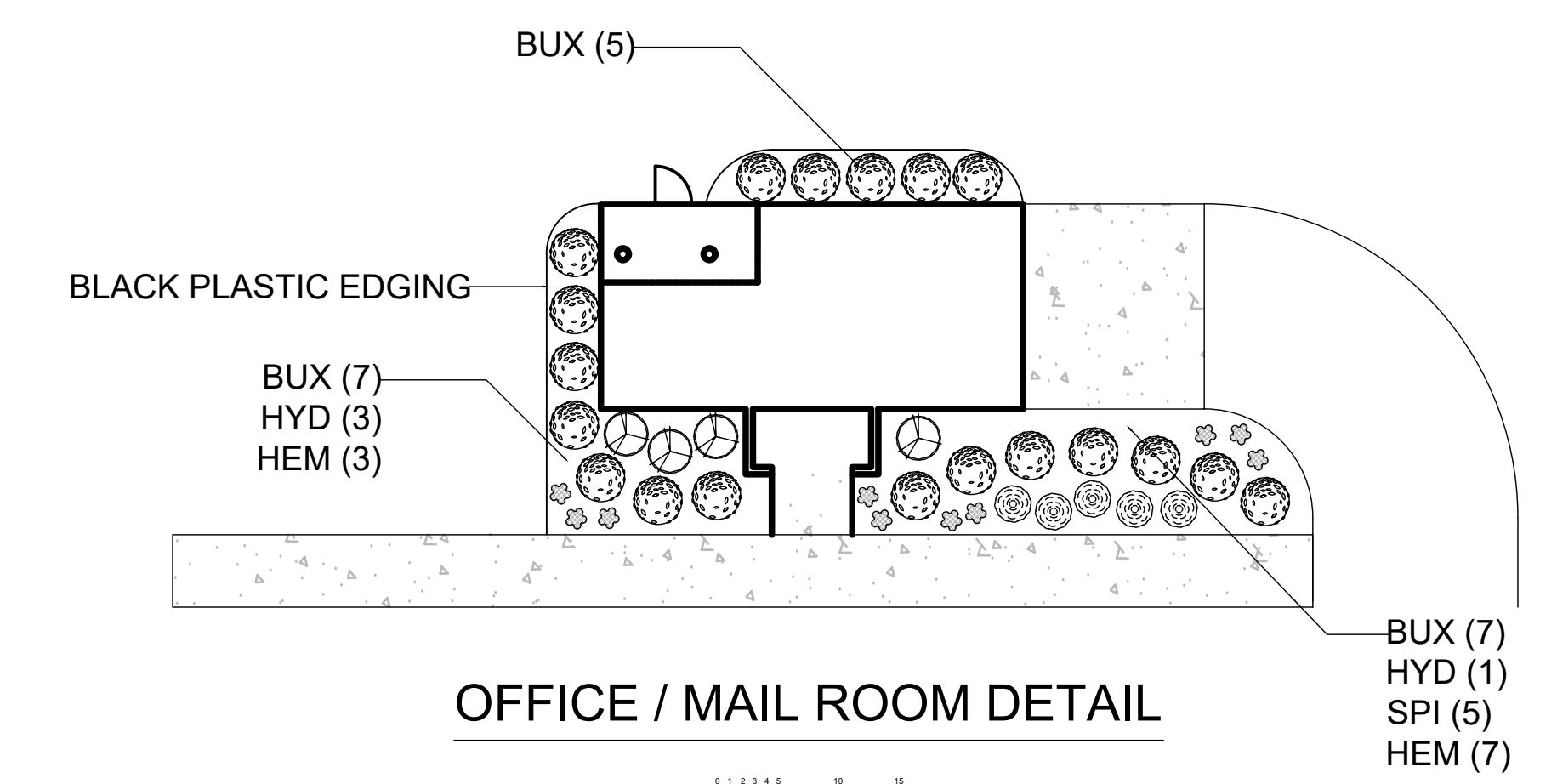
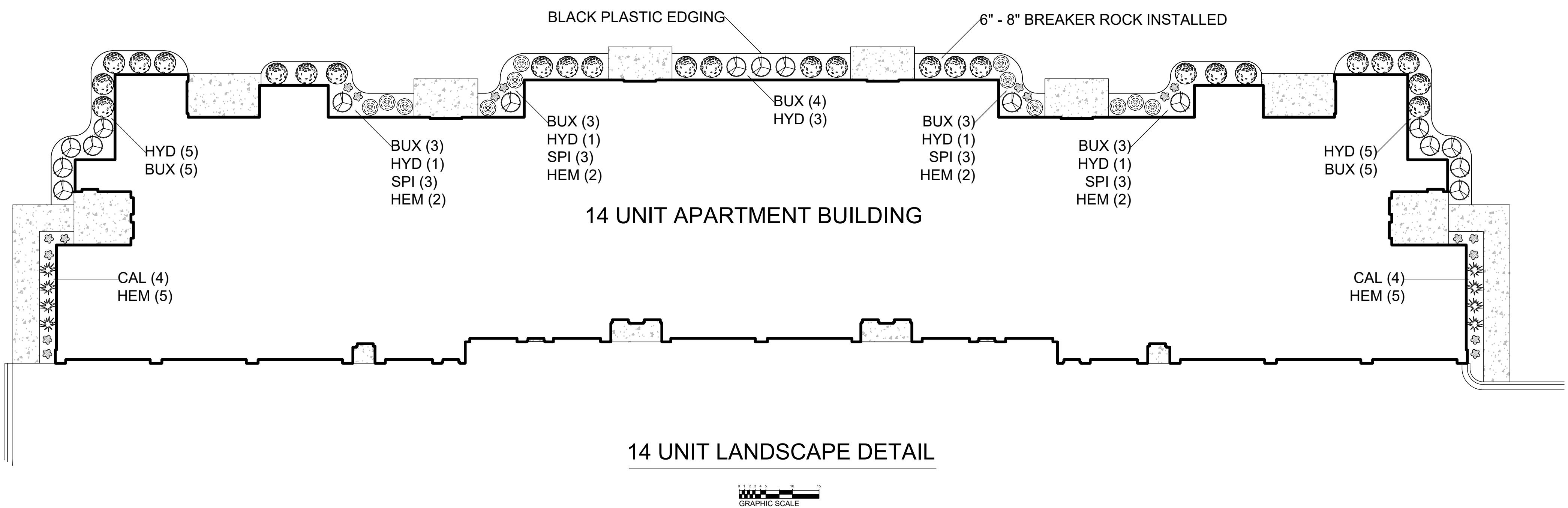
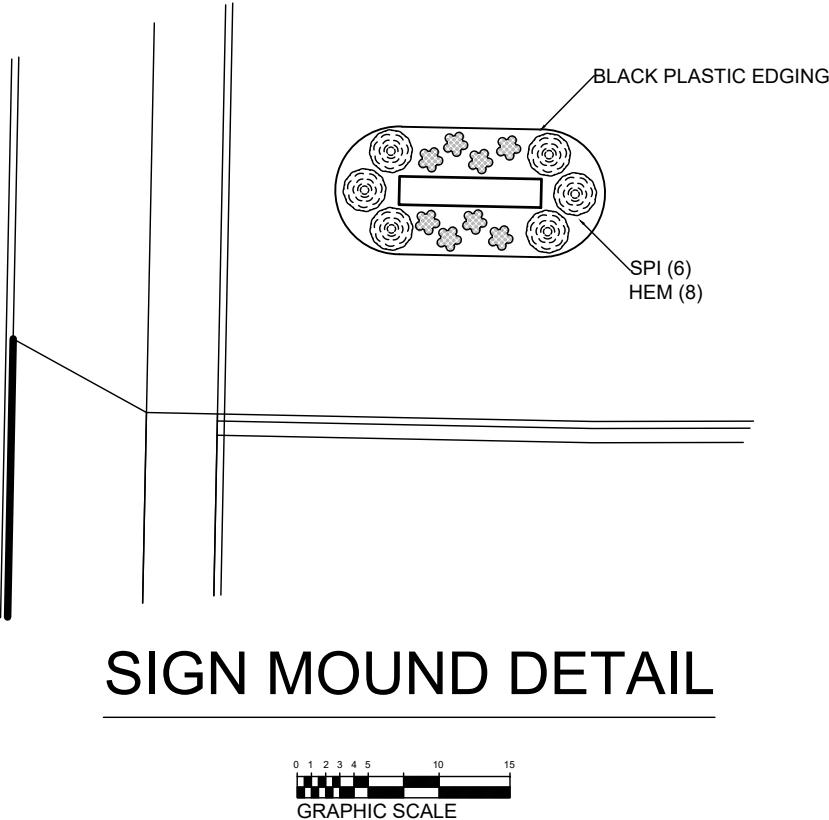
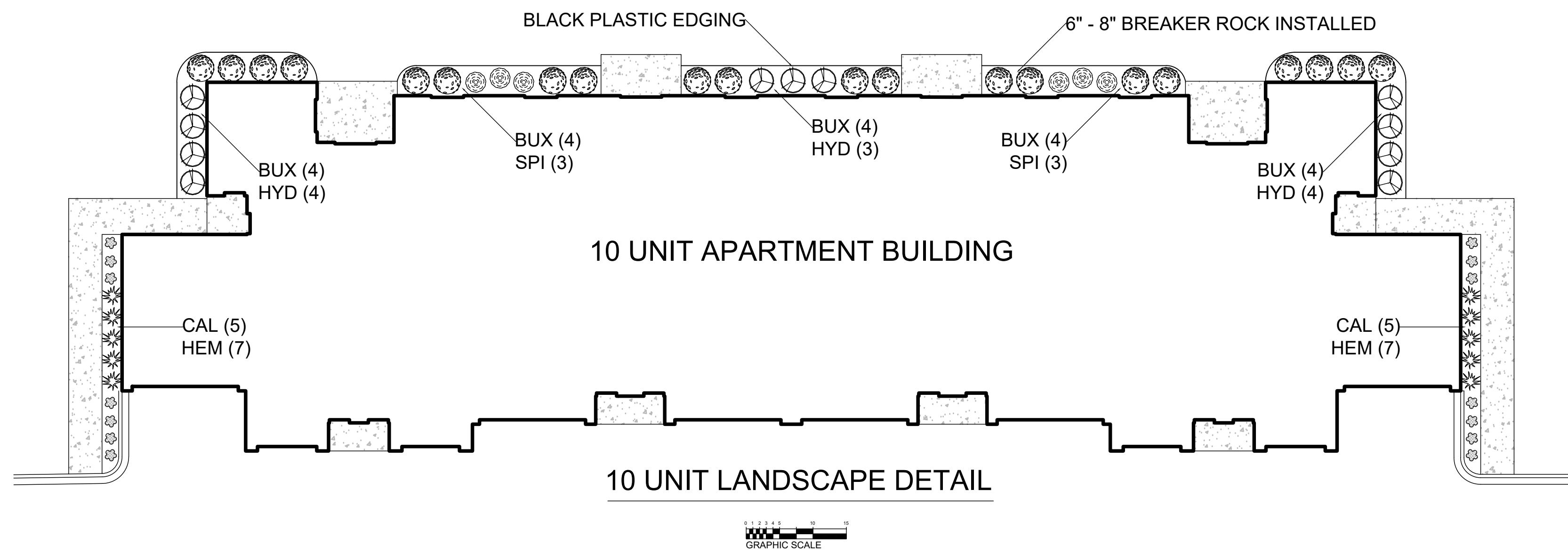
478' frontage / 40 = 12 shade trees & 72 shrubs required
12 shade trees & 72 shrubs provided

Interior Landscaping: One tree shall be planted in each island or peninsula, or within ten feet of the periphery of the parking area.

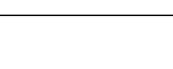
20 trees provided

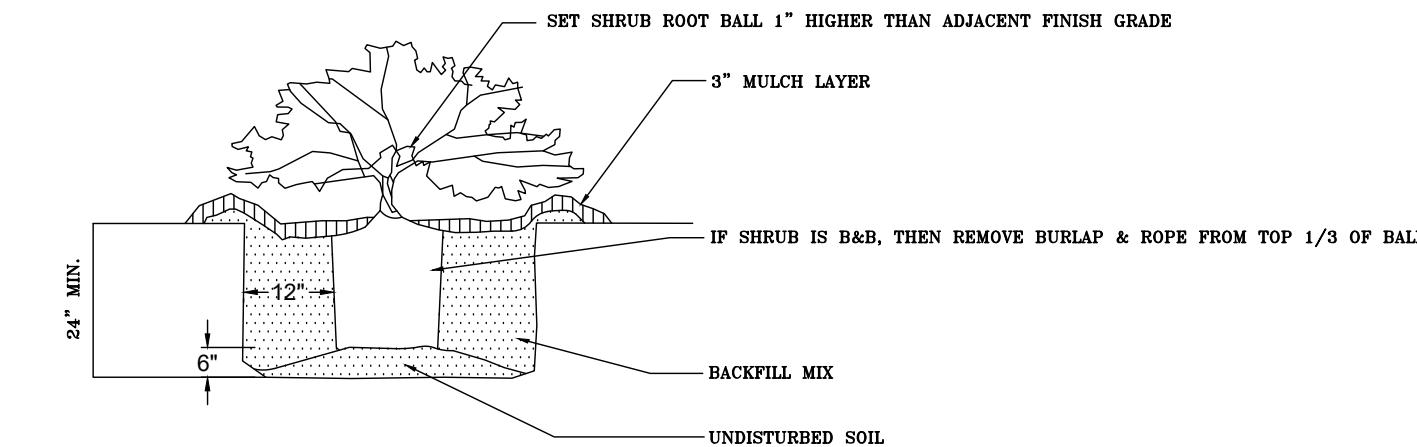
Landscape Plan





PLANT LEGEND:

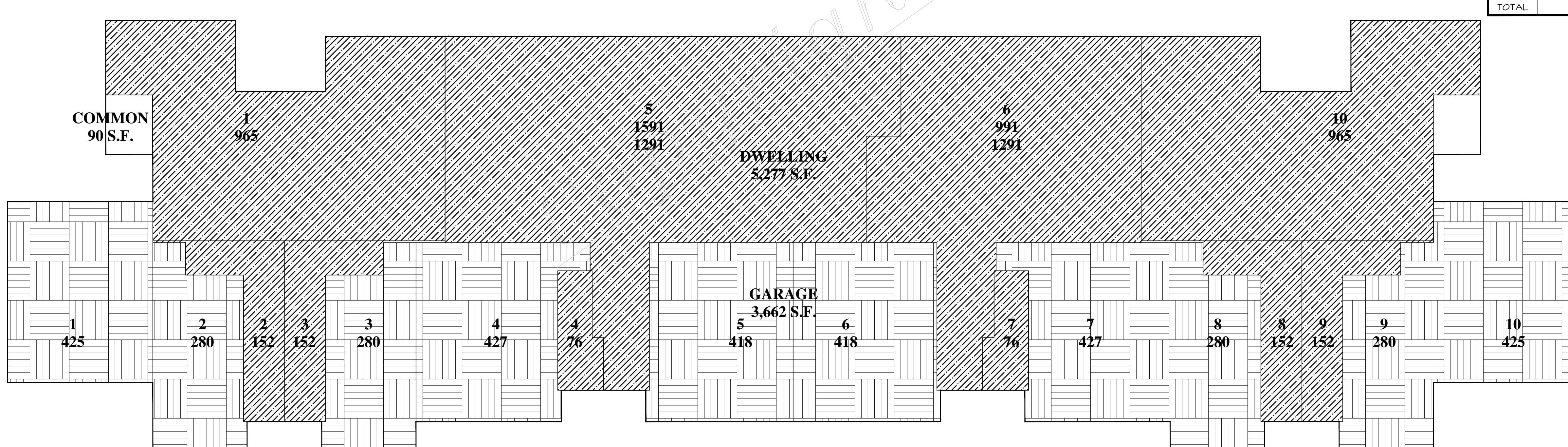
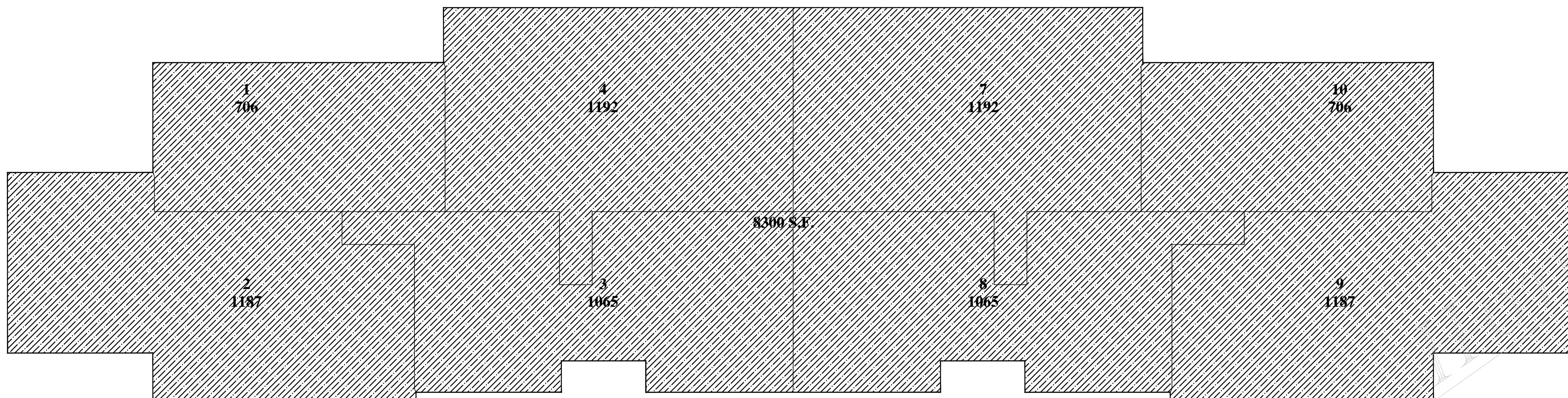
-  HYDRANGEA 'LITTLE LIME'
-  SPIREA 'GOLDFLAME'
-  BOXWOOD 'GREEN VELVET'
-  REED GRASS 'KARL FOERSTER'
-  DAYLILY 'STRAWBERRY CANDY'



SHRUB PLANTING
N.T.S.

PLANT SCHEDULE

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HYD	173	Hydrangea 'Little Lime' - Hydrangea paniculata 'Jane'	#5 18"
SPI	125	Spirea 'Goldflame' - Spiraea x bumalda 'Goldflame'	#5 18"
BUX	287	Buxus x 'Green Velvet' - Boxwood 'Green Velvet'	#5 18"
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CAL	94	Calamagrostis acutiflora 'Karl Foerster' - Grass, Feather Reed	#1
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HEM	205	Hemerocallis 'Strawberry Candy' - Daylily 'Strawberry Candy'	#1



10-3.3.1 AREA DATA

UNIT NUMBER	SQUARE FOOTAGE	GARAGE FOOTAGE	FLOOR	NOTES	BEDROOM / BATHS
1	$965 + 706 = 1,671$	425	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2	3 BED / 3 1/2 BATH
2	$152 + 1187 = 1,339$	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 BATH
3	$152 + 1065 = 1,217$	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
4	$76 + 1192 = 1,268$	421	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
5	1591	418	FIRST	TYPE "A" OR "B" ACCESSIBLE	3 BED / 2 BATH
6	991	418	FIRST	TYPE "A" OR "B" ACCESSIBLE	1 BED / 1 1/2 BATH
7	$76 + 1192 = 1,268$	421	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
8	$152 + 1065 = 1,217$	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
9	$152 + 1187 = 1,339$	280	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 BATH
10	$965 + 706 = 1,671$	425	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION 1107.1.2	3 BED / 3 1/2 BATH
COMMON	95	2			
TOTALS	WITHIN DWELLING UNITS	COMMON SPACE	HEATED TOTAL	GARAGE UTILITY	TOTAL
FIRST	5,272	95	5,271	3,662	9,029
SECOND	8,300	0	8,300	0	8,300
TOTAL	13,572	95	13,667	3,662	17,329

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10-3.3.1

LEXINGTON HOMES	REVISION X	DATE XX
LEXINGTON - HOMES-		
OFFICE: 1256 Centennial Center Centre Blvd HOBART, WISCONSIN 54155 Telephone: (920) 662-1611 Direct: (920) 655-1961		
EMAIL: cambrosius@lexingtonneighborhoods.com		
MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313 Telephone: (920) 737-9769		
OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313 Telephone: (920) 737-9769		
EMAIL: lexingtonneighborhoods.com		
LaPlant Architecture, LLC		
DATE 8/6/2024		
PROJECT NO. 461493		
SHEET T		
LaPlant Architecture LLC 2024		



COMPOSITE DRIVE ELEVATION

SCALE: 1/8" = 1'-0"

10-3.2.2 BUILDING DATA

- (2) 1 BEDROOM / 1 1/2 BATH
- (2) 2 BEDROOM / 2 BATH
- (4) 2 BEDROOM / 2 1/2 BATH
- (2) 3 BEDROOM / 3 1/2 BATH

10-3.3.1 BUILDING DATA

- (3) 1 BEDROOM / 1 1/2 BATH
- (2) 2 BEDROOM / 2 BATH
- (2) 2 BEDROOM / 2 1/2 BATH
- (1) 3 BEDROOM / 2 BATH
- (2) 3 BEDROOM / 3 1/2 BATH

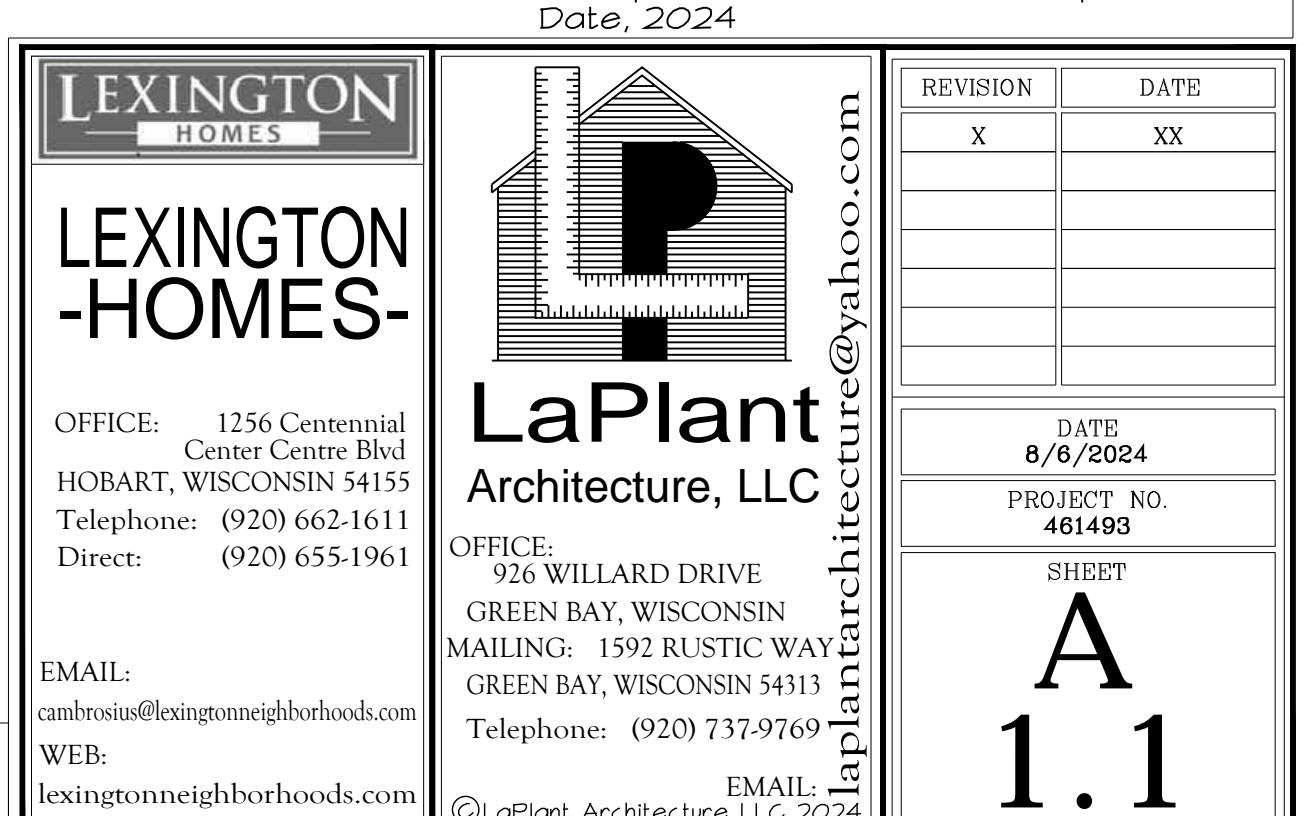


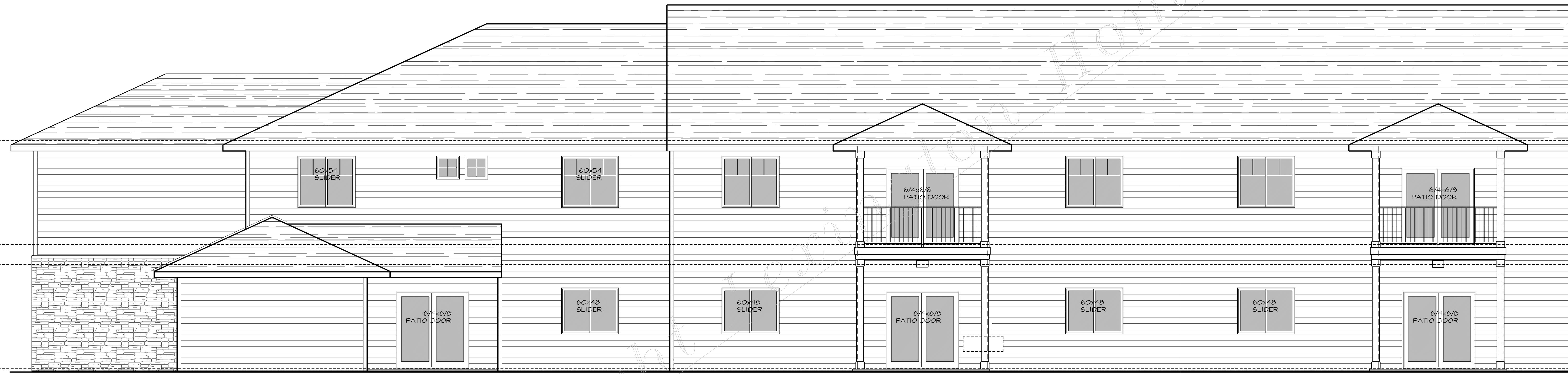
BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
STONE	922	44.5
SIDING	632	30.5
ROOF	221	10.5
SHAKE	289	14.5
TOTAL	2,064	100

DETAILED
DRIVE ELEVATION

SCALE: 1/4" = 1'-0"

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DETAILED
PORCH ELEVATION
SCALE: 1/4" = 1'-0"

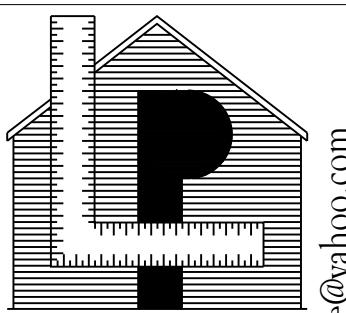
LOCATION OF PTAC
ON BLDG 3.3.1

BUILDING MATERIAL AREA DATA

MATERIAL		
STONE	245	8
SIDING	2650	89
ROOF	83	3
SHAKE	0	0
TOTAL	2978	100

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Telephone: (920) 662-1611 Direct: (920) 655-1961	Telephone: (920) 737-9769	Telephone: (920) 737-9769
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WEB: lexingtonneighborhoods.com	WEB: lexingtonneighborhoods.com	WEB: laplantarchitecture@yahoo.com
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REVISION X	DATE XX	DATE 8/6/2024
PROJECT NO. 461493	SHEET	PROJECT NO. 461493
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LEXINGTON
HOMES

LEXINGTON
HOMES-

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14-3

Townhome with Attached Garages

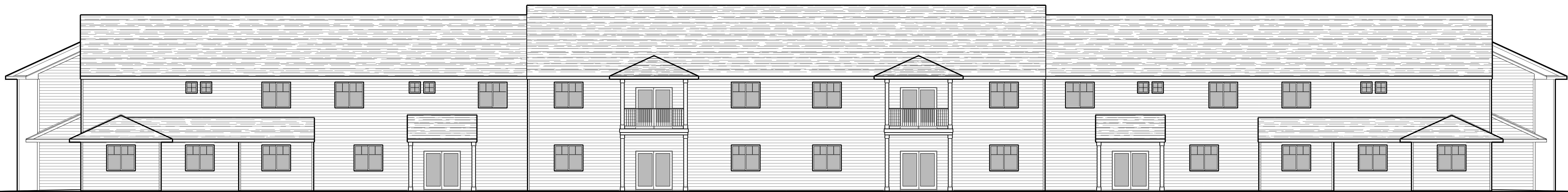
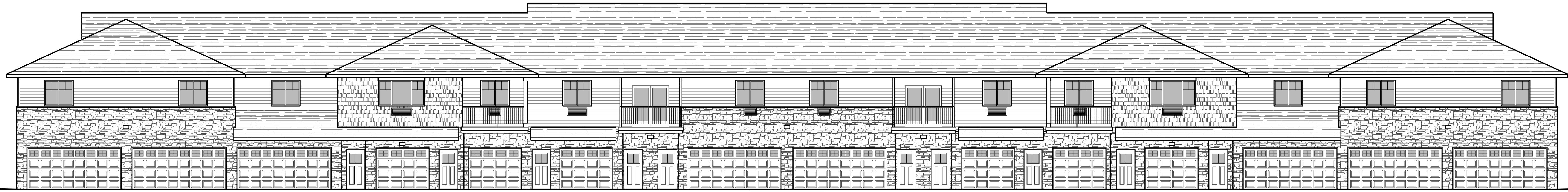
14-3.2.2 AREA DATA					
UNIT NUMBER	SQUARE FOOTAGE	GARAGE FOOTAGE	FLOOR	NOTES	BEDROOM / BATHROOM
1	70 + 1267 = 1,337	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
2	1034 + 760 = 1,794	345	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	3 BED / 3 1/2 BATH
3	855 + 703 = 1,558	343	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	2 BED / 2 1/2 BATH
4	50 + 931 = 981	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
5	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
6	61 + 1188 = 1,249	210	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
7	1,300	402	FIRST	TYPE "B" ACCESSIBLE	2 BED / 2 1/2 BATH
8	1,300	402	FIRST	TYPE "A" OR "B" ACCESSIBLE	2 BED / 2 1/2 BATH
9	61 + 1188 = 1,249	210	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
10	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
11	50 + 931 = 981	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
12	855 + 703 = 1,558	343	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	2 BED / 2 1/2 BATH
13	1034 + 760 = 1,794	345	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	3 BED / 3 1/2 BATH
14	70 + 1267 = 1,337	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
COMMON	343	47			
TOTALS	WITHIN DWELLING UNITS	COMMON SPACE	HEATED TOTAL	GARAGE UTILITY	TOTAL
FIRST	6,834	304	7,138	5,008	12,146
SECOND	11,626	0	11,626	0	11,626
TOTAL	18,460	304	18,764	5,008	23,712

14-3.3.1 AREA DATA					
UNIT NUMBER	SQUARE FOOTAGE	GARAGE FOOTAGE	FLOOR	NOTES	BEDROOM / BATHROOM
1	70 + 1267 = 1,337	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
2	1034 + 760 = 1,794	345	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	3 BED / 3 1/2 BATH
3	855 + 703 = 1,558	343	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	2 BED / 2 1/2 BATH
4	50 + 931 = 981	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
5	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
6	61 + 1188 = 1,249	210	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
7	1,600	402	FIRST	TYPE "A" OR "B" ACCESSIBLE	3 BED / 2 BATH
8	1,000	402	FIRST	TYPE "A" OR "B" ACCESSIBLE	1 BED / 1 1/2 BATH
9	61 + 1188 = 1,249	210	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
10	47 + 958 = 1,005	273	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
11	50 + 931 = 981	323	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	1 BED / 1 1/2 BATH
12	855 + 703 = 1,558	343	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	2 BED / 2 1/2 BATH
13	1034 + 760 = 1,794	345	FIRST & SECOND	MULTISTORY UNIT PER EXCEPTION II07.1.2	3 BED / 3 1/2 BATH
14	70 + 1267 = 1,337	380	SECOND	ACCESSIBILITY NOT REQ. SECOND STORY	2 BED / 2 1/2 BATH
COMMON	343	47			
TOTALS	WITHIN DWELLING UNITS	COMMON SPACE	HEATED TOTAL	GARAGE UTILITY	TOTAL
FIRST	6,834	304	7,138	5,008	12,146
SECOND	11,626	0	11,626	0	11,626
TOTAL	18,460	304	18,764	5,008	23,712

REVISION DATE
DATE 7/16/2024
PROJECT NO. 461493
SHEET T
1.3

COMPOSITE DRIVE ELEVATION

SCALE: 1/8" = 1'-0"

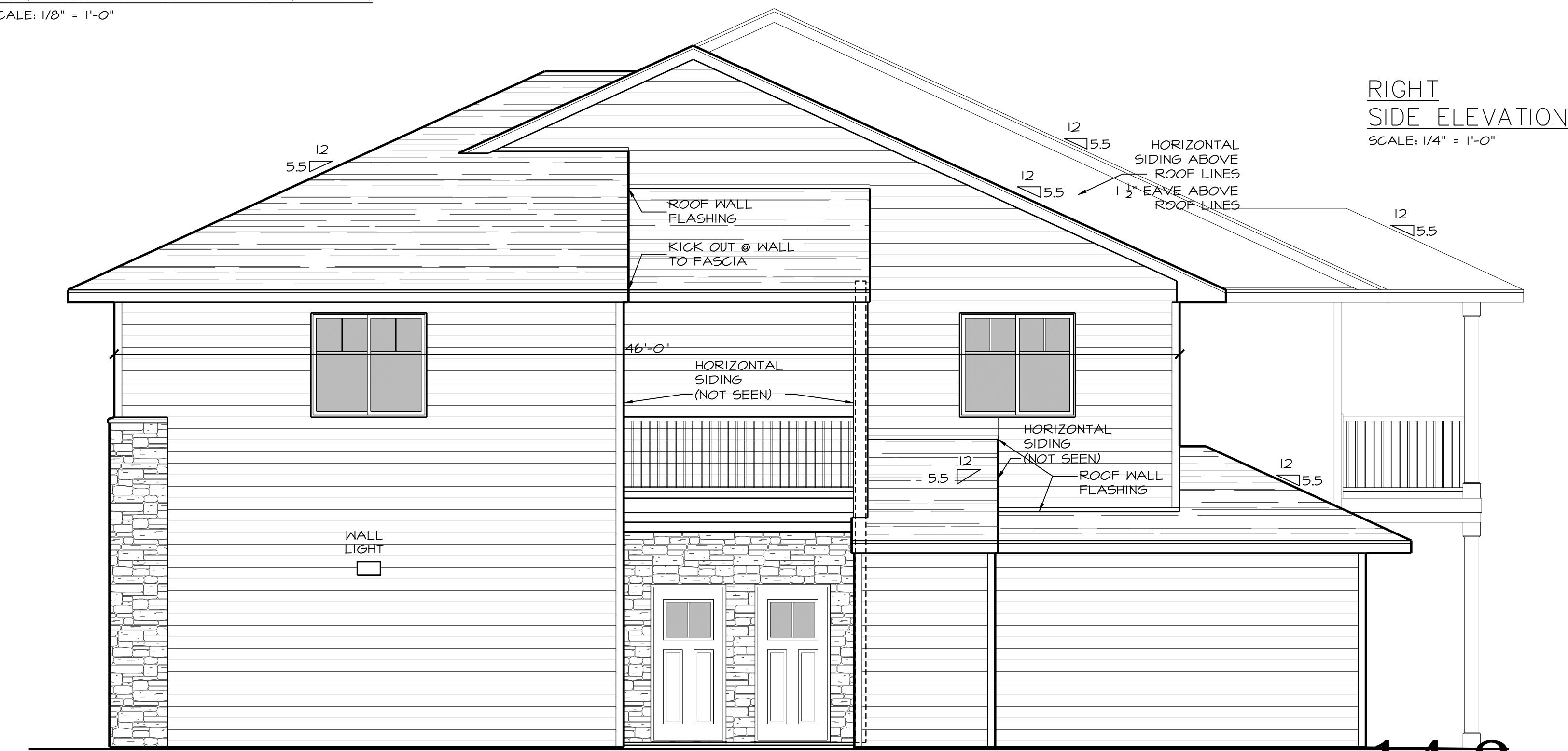
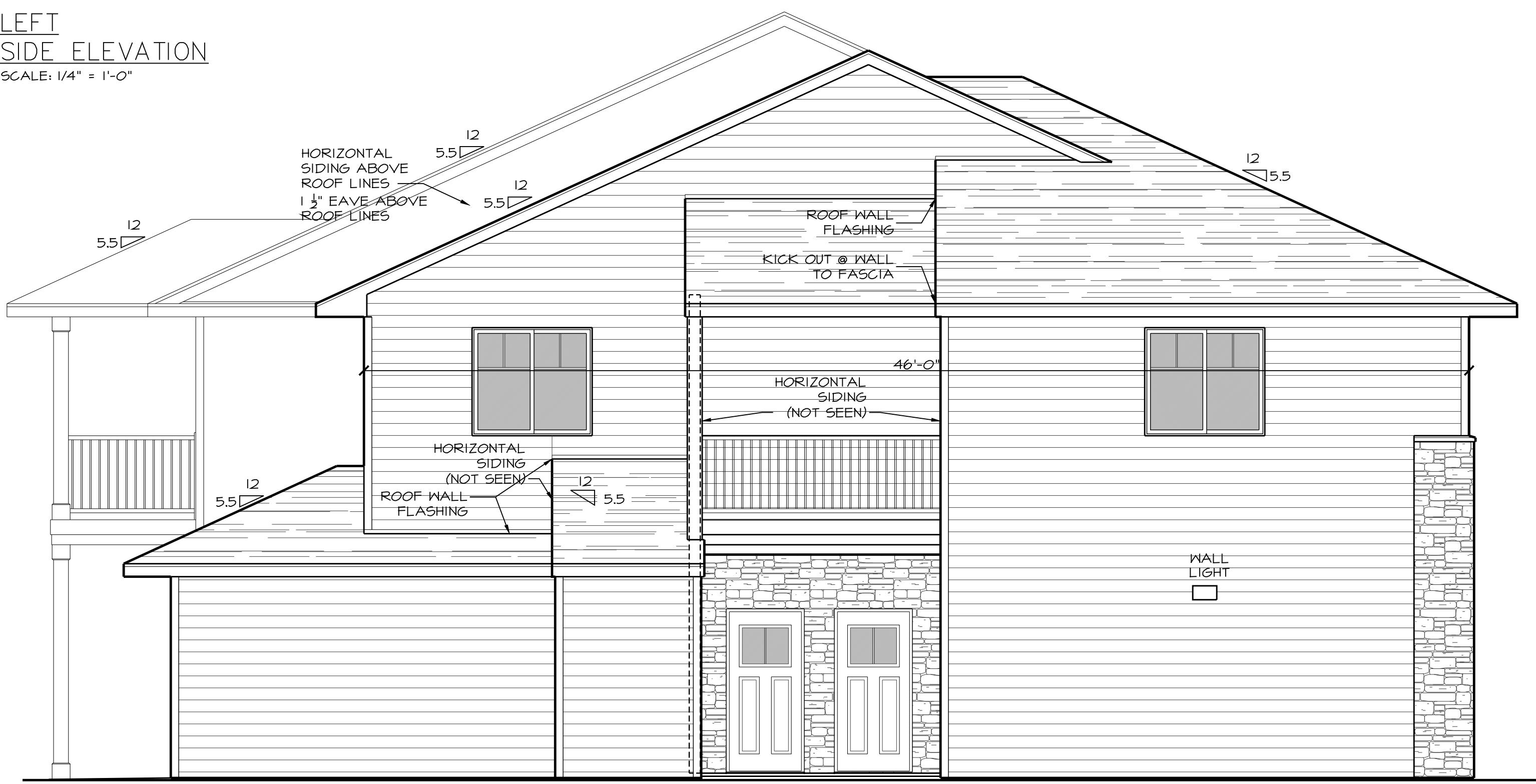


COMPOSITE PORCH ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

14-3





DETAILED
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING MATERIAL AREA DATA

MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA	
STONE	1,300	44.5	Casa di Sassi
SIDING	968	33	Herringbone
ROOF	300	10	Moire Black
SHAKE	364	12.5	Smokey Gray
TOTAL	2,932	100	

DETAILED PORCH ELEVATION

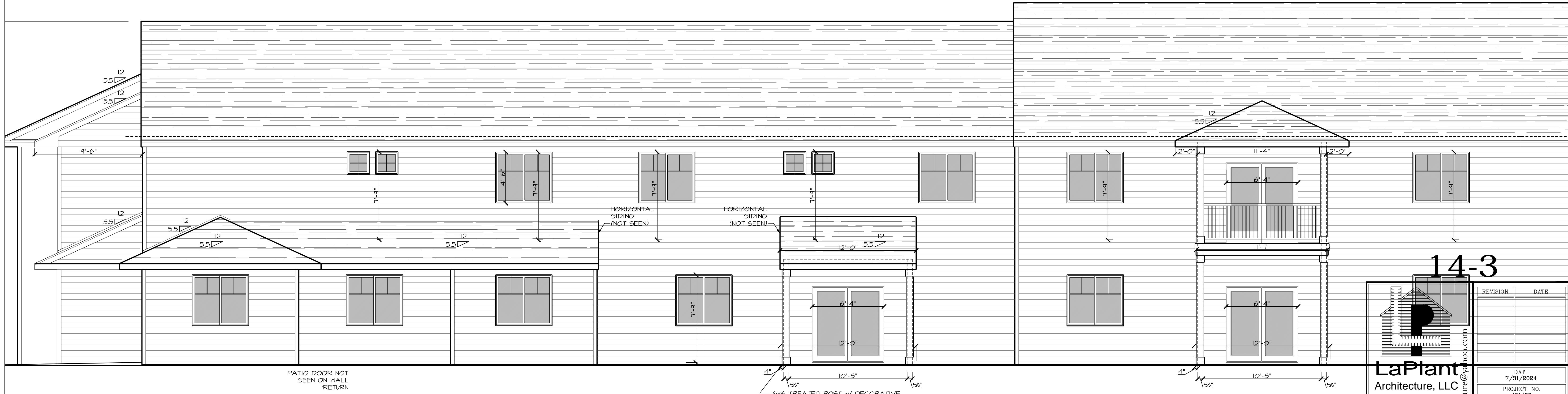
SCALE: 1/4" = 1'-0"

14-3.2.2 BUILDING DATA

- (4) 1 BEDROOM / 1 1/2 BATH**
- (8) 2 BEDROOM / 2 1/2 BATH**
- (2) 3 BEDROOM / 3 1/2 BATH**

14-3.3.1 BUILDING DATA

- (5) 1 BEDROOM / 1 1/2 BATH**
- (6) 2 BEDROOM / 2 1/2 BATH**
- (1) 3 BEDROOM / 2 BATH**
- (2) 3 BEDROOM / 3 1/2 BATH**



PATIO DOOR NO
SEEN ON WALL
RETURN

6x6 TREATED POST w/ DECORATIVE COVER. SEE PLAN NOTE #18

LaPlant
Architecture, LLC
ure@vanc

OFFICE 226 WILLARD DRIVE
GREEN BAY, WISCONSIN
MAILING 592 RUSTIC WAY
GREEN BAY, WISCONSIN 54313
Telephone: (920) 737-9769
EMAIL: laplantarchitecturellc2021@gmail.com

DATE
7/31/2024
PROJECT NO.
123456

18173
SHEET
A
1.2



Item For Consideration Plan Commission

For Plan Commission Review On: September 9th, 2024 **Prepared On:** Sept. 3, 2024
Agenda Item Topic: Temporary Uses (Food Trucks) **Prepared By:** Administration

Report: As requested by the Plan Commission and Trustee Van Deurzen, attached to this IFC is Section 44-13. Use Regulations. This covers mobile vendors allowed in Little Chute. The Village of Little Chute receives anywhere from 3-6 Temporary Use permits related to mobile vendors in a calendar year. We require bathrooms to be accessible for mobile uses, whether that is provided by the primary use of a property or temporarily set up on a property. The approval is only good for 90-days in a calendar year.

Information on neighboring communities:

Kimberly – does not have regulations for food trucks.

Appleton – does allow food trucks.

Kaukauna – does allow food trucks.

Grand Chute – does allow food trucks.

Combined Locks – does allow food trucks.

Our Municipal Code is below:

Sec. 44-13. Use regulations.

Only the following uses and their essential services may be allowed in any district:

- (1) *Permitted uses.* Permitted uses, being the principal uses, specified for a district.
- (2) *Accessory uses.* Accessory uses and structures as specified are permitted in any district but not until their principal structure is present or under construction.
- (3) *Conditional uses.* The following provisions are applicable to conditional uses generally:
 - a. Conditional uses and their accessory uses are considered as special uses requiring, for their authorization, review, public hearing and approval by the plan commission or village board in accordance with article IV of this chapter excepting those existent at time of adoption of the Zoning Code.



Item For Consideration

Plan Commission

- b. Those existing uses which are classified as conditional uses for the district in which they are located at the time of adoption or amendment of the ordinance from which this chapter is derived, require no action by the plan commission or village board for them to continue as valid conditional uses.
- c. A proposed change from permitted use in a district to a conditional use shall require review, public hearing, and approval by the plan commission or village board in accordance with article IV of this chapter.
- d. Conditional use, when replaced by permitted use, shall terminate. In such case, the reestablishment of any previous conditional use, or establishment of new conditional use shall require review, public hearing and approval by the plan commission or village board in accordance with article IV of this chapter.
- e. Conditional uses authorized by plan commission or village board resolution shall be established for a period of time to a time certain or until a future happening or event at which the same shall terminate.
- f. Conditional uses authorized by the plan commission or village board shall not be subject to substitution with other conditional uses, either regular or limited, whether similar type or not, without plan commission approval and the procedures required in article IV of this chapter.

(4) *Uses not specified in this zoning chapter.*

- a. Uses not specified in this chapter which are found by the plan commission to be sufficiently similar to specified permitted uses for a district shall be allowed by zoning administrator.
- b. Uses not specified in this chapter and which are found sufficiently similar to specified conditional uses permitted for a district may be permitted by the plan commission after public hearing and approval in accordance with article IV of this chapter.

(5) **Temporary or mobile uses.** The following provisions are applicable to temporary or mobile uses generally:



Item For Consideration

Plan Commission

- a. Temporary or mobile uses are defined as, but not limited to the following:
 - 1. Fireworks stands;
 - 2. Sales tents;
 - 3. Catering trucks;
 - 4. Food service trucks;
 - 5. Hot dog carts;
 - 6. Food service trailers;
 - 7. Food vending carts;
 - 8. Mobile offices; and
 - 9. Other commercial uses;

which utilize mobile or portable facilities which are not permanently connected to public water or sanitary sewer utilities and are not secured permanently to the land on which located.
- b. Temporary or mobile uses as described in subsection (5)a of this section may be permitted by the zoning administrator for no longer than one continuous 90-day period annually when determined not to be in conflict with the neighboring uses and the general provisions within the zoning district in which located.
- c. Applicants shall submit drawings photographs and scaled site plans showing location, parking, signs, etc., to the zoning administrator prior to issuance of a permit.
- d. In addition, the board of appeals under section 44-517 shall have the power to hear and grant applications for temporary uses, in any district provided that such uses are of a temporary nature, do not involve the erection of a substantial structure and are compatible with the neighboring uses and the plan commission has made a review and recommendation. The permit shall be temporary, revocable, subject to any condition required by the board of zoning appeals and shall be issued for a period not to exceed 12 months. Compliance with all other provisions of this chapter shall be required. An



Item For Consideration

Plan Commission

application fee as established by the village board, from time to time, and appears on the fee schedule attached as appendix C to this Code shall be required for board of appeals review.

(Code 2006, § 13-1-21; Ord. No. 2(Ser. of 2007), § 1, 2-7-2007)

Fiscal Impact: Currently, the fee to operate a temporary or mobile use is \$175 per calendar year.

Recommendation/Board Action:

Respectfully Submitted,
Beau Bernhoft, Village Administrator